

FRONT ELEVATION



REVISED LEFT HAND STAIRWAY LAYOUT
 3 BEDROOM WITH BONUS ROOM
 FAMILY ROOM LARGE WINDOWS
 PARGED FOUNDATION & CONCRETE
 PORCHES WITH BRICK ROWLOCK
 FAMILY ROOM WITH LARGE GABLE WINDOWS
 COMPOSITE REAR DECKING
 HORIZONTAL SIDING
 BOARD & BATTEN MID SECTION
 BOARD & BATTEN SHED DORMER
 PORCH WITHOUT RAILINGS

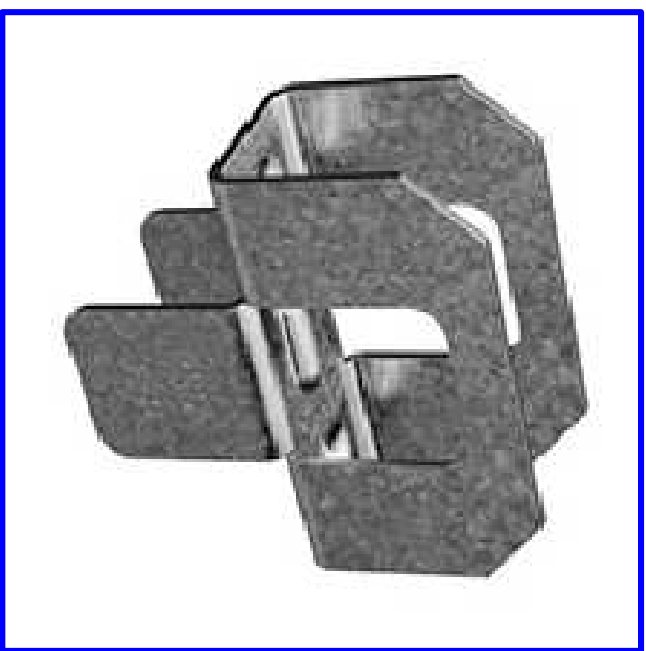
CONDITIONED CRAWL SPACE



STANDING SEAM METAL ROOFING
 AND
 35 YEAR ARCHITECTURAL GRADE
 ASPHALT SHINGLES OVER 30# FELT

* PREFERRED * 1/2" ZIP ROOF SHEATHING IF 16" OC * PREFERRED *
 5/8" ZIP ROOF SHEATHING IF 24" OC

* PREFERRED * 1/2" ZIP ROOF SHEATHING IF 16" OC * NOT NEEDED * * PREFERRED *
 UNLESS SHEATHING IS LESS THAN 24" IN WIDTH THEN ONE CLIP
 IS REQUIRED IN EACH BAY
 PSCl 1/2 CLIPS USE WITH 1/2" PLYWOOD WHEN @ 24" OC
 PSCl 5/8 CLIPS USE WITH 5/8" PLYWOOD WHEN @ 24" OC
 ICE & WATER SHIELD IN ALL
 VALLEYS & BOTTOM 36" OF ROOF

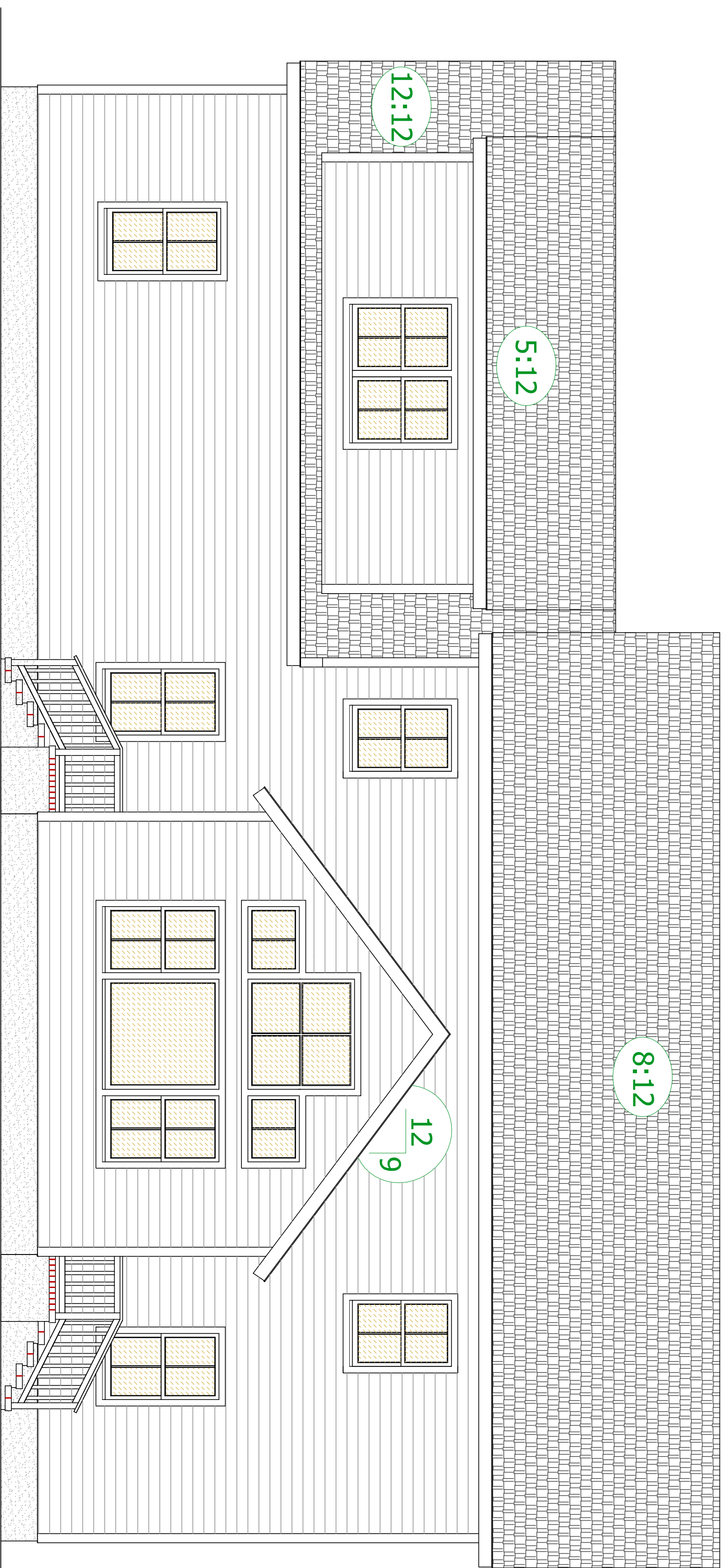


PANEL SHEATHING CLIPS

PSCl 1/2
 USE WITH PLYWOOD 24" OC

PANEL SHEATHING CLIPS

PSCl 1/2
 USE WITH PLYWOOD 24" OC
 NOT NEEDED @ 16" OC
 UNLESS SHEATHING IS LESS THAN
 24" IN WIDTH THEN ONE CLIP
 IS REQUIRED IN EACH BAY



REAR ELEVATION



NOT RESPONSIBLE FOR:
 PERMITTING AGENCY
 BUILDING CODE ADOPTED
 AT THIS POINT IN THE PLANING PROCESS

ANY QUESTIONS ABOUT THESE PLANS NEED TO BE FORWARDED TO
 PLAN AHEAD DRAFTING & DESIGN LLC @ 410-822-3447
 WWW.PLANAHEADDRAFTING.COM

ALL OTHER PLANS REGARDING THIS DATE ARE NOT VALID AND VOID AND SHOULD BE DISREGARDED. ANY CHANGES TO THESE PLANS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER AND WILL BE DONE AT THEIR EXPENSE.
 ANY CHANGES OR REVISIONS FROM THIS PLAN SET MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN LLC AND THE LOCAL PLANNING & ZONING OFFICE.
 ALL PLANS SETS ARE GUARANTEED FOR 90 DAYS FROM THE DATE ON THE "FINAL" WITHIN THOSE 90 DAYS WILL BE CORRECTED AT NO CHARGE. ANY OMISSIONS, CODE CHANGES, CONTRACTOR CHANGES AFTER THAT DATE WILL BE THE RESPONSIBILITY OF THE HOMEOWNER AND WILL BE DONE AT THE EXPENSE OF THE HOMEOWNER.
 ALL STRUCTURAL CHANGES MUST BE ENGINEER APPROVED. ANY CHANGES / DEVIATIONS FROM THESE PLANS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER / HOMEOWNER CONTRACTOR. ENGINEER APPROVED CHANGES OR DEVIATIONS OF ISSUES WILL BE THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR AND WILL BE DONE AT THEIR EXPENSE.

ALL PHASES OF THE CONSTRUCTION PROCESS MUST FOLLOW THE IBC/IRC 2015 BUILDING CODES OR THE MOST CURRENT IBC/IRC MUST FOLLOW THE MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES. EACH BRITTY - MASONRY, FRAMING CODE SPECIFIC AND THOSE ENTITIES CODES MUST BE FOLLOWED UNLESS OTHERWISE NOTED. ANY DISCREPANCIES MUST BE BROUGHT TO OUR ATTENTION ASAP TO AVOID LATER ISSUES AND ALLOW FOR ATTENTION TO BE MADE TO THE DRAWINGS AND NOT BY THE APPLICABLE CODES OR MANUFACTURERS RECOMMENDATIONS AUTOMATICALLY VOID AND nullifies ANY FUTURE MITIGATION FOR SUCH ITEMS.

- STRUCTURAL WOOD BEAMS SHALL BE NO.1,NO.2 SPOUCE-PINE-FIR WITH THE FOLLOWING MINIMUM PROPERTIES:
 Fv = 135 psi E = 1400000 psi
- SECURE MULTIPLE WOOD MEMBERS TOGETHER WITH (2) ROWS OF 16d COMMON NAILS AT 12" O/C. USE GALVANIZED NAILS FOR ALL EXTERIOR BEAMS. Fc = 2510 psi
- MICROLAM LVL BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
 Fv = 769 psi E = 1960000 psi
 Fv = 385 psi E = 1960000 psi
- SECURE MULTIPLE MICROLAM LVL MEMBERS TOGETHER WITH (2) ROWS OF TRUSSLOK SCREWS AT 12" O/C FOR MEMBERS 11.75" AND SMALLER. FOR MEMBERS DEEPER THAN 11.75" USE (3) ROWS OF TRUSSLOK SCREWS AT 12" O/C.
- SECURE MULTIPLE END STUDS TOGETHER WITH 16d COMMON NAILS AT 8" O/C STAGGERED EACH PLY.
- ALL BRACING STUDS AND POSTS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR TO TRANSFER MEMBERS AT LOWER DEPTH OF FLOOR AS REQUIRED.

INSULATION TO BE USED:
 EXTERIOR WALLS R-20
 CRAWL SPACE WALLS R-15
 OR FIRST FLOOR R-30
 CEILING/ROOF R-49
 INSULATION METHOD MAY BE:
 FOAM - OPEN OR CLOSED CELL
 FLASH AND BATT OR BATT INSULATION

WALL CONSTRUCTION:
 EXTERIOR 2 x 6 # 2 SPF
 INTERIOR 2 x 4 # 2 SPF
 1" INTERIOR DRYWALL
 7/16" ZIP" EXTERIOR SHEATHING
 5/8" TYPE "X" FOR FIRE WALLS & CEILING

TYVEK TYPE VAPOR BARRIER
 SIDING, WINDOWS, DOORS, FINISHES, TRIM
 PACKAGES, LIGHTING, FIXTURES, AND ROOFING
 ARE TO BE DETERMINED BY THE HOMEOWNER

ALL ENGINEERED FLOORING BEAMS, TRUSSES, AND STEEL TO BE VERIFIED THROUGH MANUFACTURERS AND CONSULT A PLAN INSPECTIONS. SUPPLIERS WITH ENGINEERED FLOORING SYSTEMS, ROOF SYSTEMS, LVL BEAMS, STEEL BEAMS, OR OTHER SYSTEMS THAT HAVE BEEN SPECIFIED MAY BE SUBSTITUTED FOR THE COMMENTS HEREIN AS LONG AS ENGINEERED DOCUMENTATION IS PROVIDED.

IF CRAWL SPACE HAS ANY FUEL GAS APPLIANCES PRESENT OR IS TO BE USED AS STORAGE THEN THE BOTTOMS OF THE JOISTS MUST BE COVERED WITH EITHER FIRE RATED DRYWALL, OR FIRE RATED SHEATHING, OR SPRINKLERED

* PRESCRIPTIVE METHOD *
 * USED IN THIS PLAN SET *
 CLIMATE ZONE FOUR (4)

SHEET NUMBER

E-1

PROPOSED ELEVATIONS
 RED OAK PROPERTIES

PLAN TYPE: FINAL PLANS
 COMPLETION DATE: SEPT. 17, 2020
 SCALE: 1/4" = 1'-0" ARCHITECTURAL

CHANGE LEGEND	
#1	8 / 28 / 2020
#2	9 / 17 / 2020
#3	10 / 1 / 2020

OWNER & PROPERTY ADDRESS

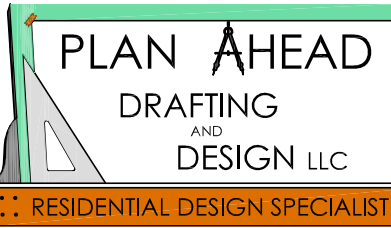
MAIL: RED OAK PROPERTIES
 28589 Brick Row Drive
 Oxford, MD 21654

PROPERTY:

ZONING & SETBACK REQUIREMENTS

NOTES:

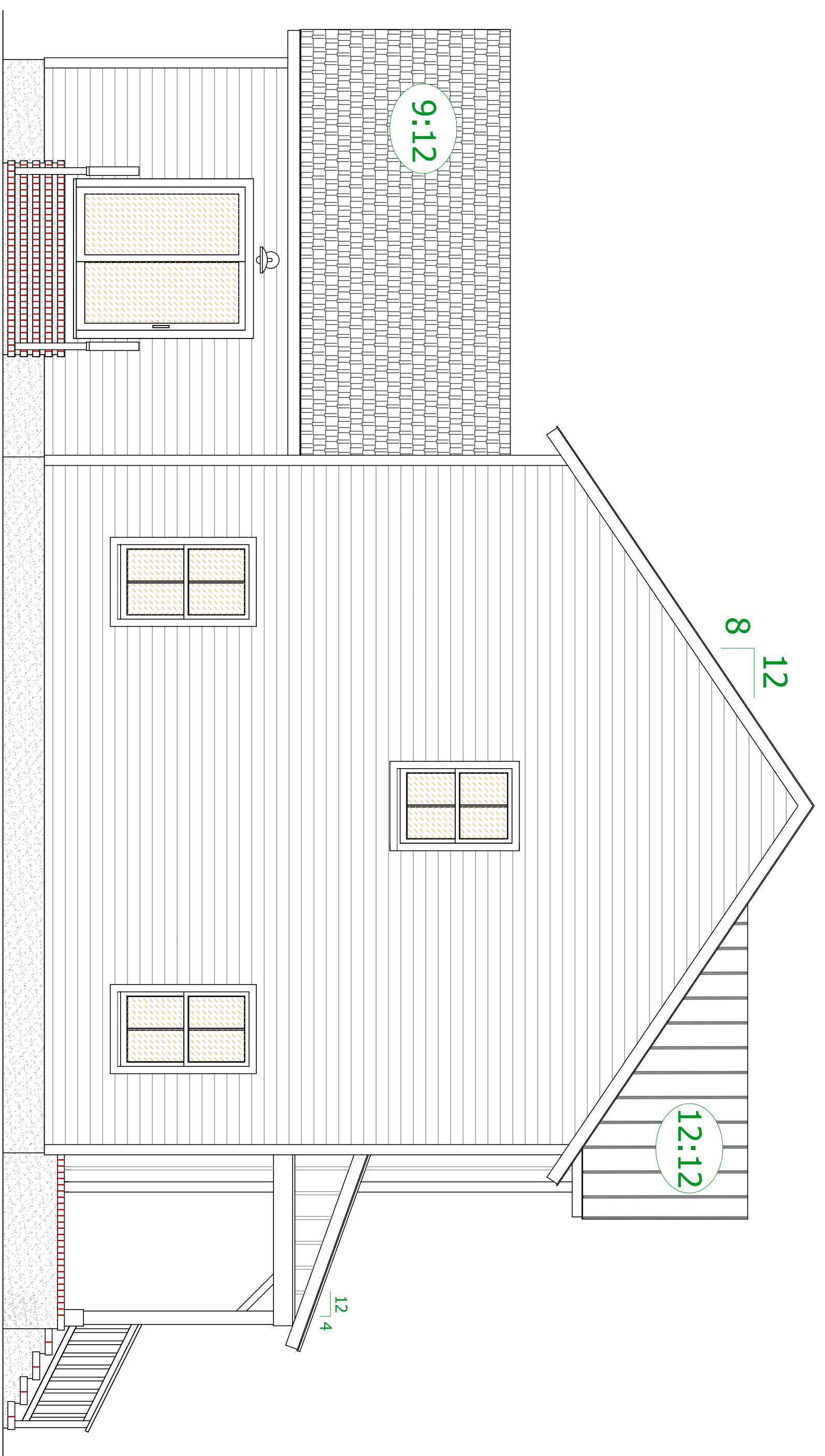
ALL DIMENSIONS ARE AS ACCURATE AS POSSIBLE CONSIDERING PREEXISTING CONDITIONS UNLESS THE PROJECT IS COMPLETELY NEW CONSTRUCTION. ONLY THE NEW CONSTRUCTION FULLY DIMENSIONED AND DIMENSIONS TOTALY ACCURATE ON THESE PLANS WITH RESPECT TO PREEXISTING CONDITIONS. ALL DIMENSIONS ARE TAKEN FROM THE OUTSIDE OF THE EXTERIOR SHEATHING TO CENTERLINE OF INTERIOR STUD WALLS UNLESS OTHERWISE NOTED. ALL NEW EXTERIOR WALLS ARE TO BE 2 X 4 CONSTRUCTION UNLESS OTHERWISE NOTED.
 ALL NEW INTERIOR WALLS ARE TO BE 2 X 4 CONSTRUCTION UNLESS OTHERWISE NOTED.
 ALL NEW WINDOWS AND DOORS ARE TO BE 2 X 4 CONSTRUCTION UNLESS OTHERWISE NOTED.
 ALL EXTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.
 ALL INTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.
 ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, THE DETAILS AND FINISHES ON ANY NEW ADDITIONS ARE TO MATCH THOSE OF ADJACENT EXISTING STRUCTURES OR IF THEIR REPLACEMENTS.
 ALL FOOTERS MUST MAINTAIN A MINIMUM DEPTH OF 24" BELOW THE FINISHED GRADE.
 ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, THE DETAILS AND FINISHES ON ANY NEW ADDITIONS ARE TO MATCH THOSE OF ADJACENT EXISTING STRUCTURES OR IF THEIR REPLACEMENTS.
 ALL FOUNDATION WALLS ARE TO BE TWO COAT PARGE UNLESS OTHERWISE NOTED.
 ALL FOOTING MATERIALS AND VENTILATION TO MATCH EXISTING OR AS SPECIFIED IN THE IBC AND LOCAL ADOPTED MAIN COMPLIANT.
 ALL MEASUREMENTS AND LOCATIONS ARE AS ACCURATE AS POSSIBLE GIVEN EXISTING CONDITIONS AND THE ENCLOSED NATURE OF THE EXISTING STRUCTURES.
 ALL FRAMING MEMBERS THAT ARE EXISTING ARE LOCATED BY THEIR APPROXIMATE LOCATION BY SHADING FRAMING TOUCHES HAVE BEEN FOLLOWED AND HAVE BEEN REPRESENTED AS CLOSELY AS POSSIBLE. IF VISUAL CONTACT HAS BEEN ESTABLISHED OTHERWISE NORMAL FRAMING PRACTICES WILL BE SHOWN.
 ALL NEW FRAMING MEMBERS ARE TO MEET OR EXCEED IRC CODE AND LOCATED IN OPTIMAL POSITIONING FOR LOADS AND RESISTS. ADJUSTMENTS WILL NEED TO BE MADE DEPENDING ON PREEXISTING FRAMING LOCATIONS.
 THE CONTRACTOR ULTIMATELY HAS THE LAST DETERMINATION OF EXISTING CONDITIONS AND FRAMING METHODOLOGY USED IN BOTH NEW AND REMODELING CONSTRUCTION. THE FINAL FRAMING DECISIONS MUST BE MADE IN ACCORDANCE WITH MINIMUM IRC CODES AND SAFETY REGULATIONS GREATER. ALL PREEXISTING CONDITIONS MAY HAVE NOT BEEN ABLE TO BE SEEN PRIOR TO DEMOLITION AND THEREFORE MUST BE ALLOWED FOR AND TAKEN INTO ACCOUNT UPON COMMENCEMENT OF CONSTRUCTION.



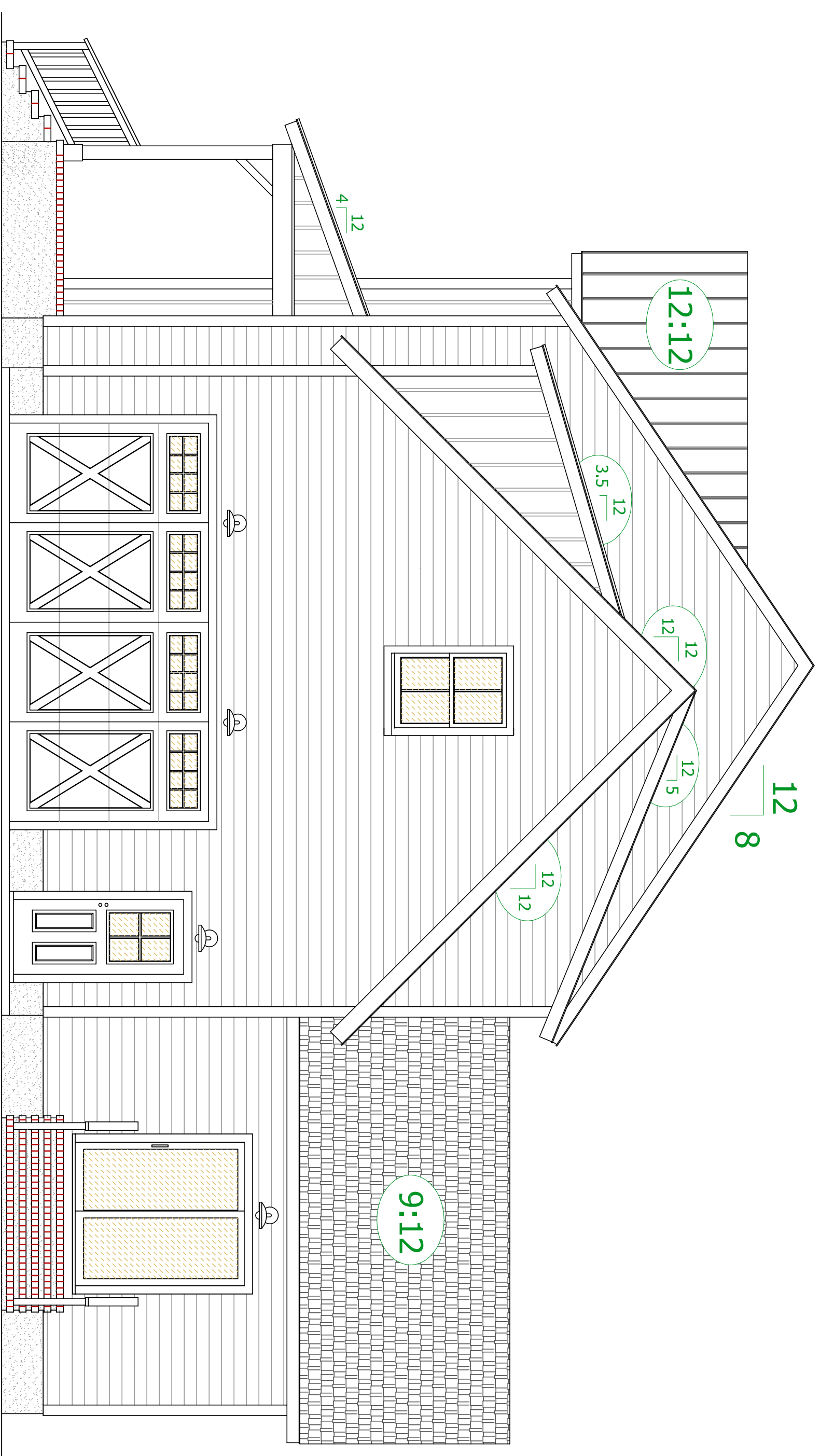
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 EASTON, MD 21601-4032
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 E-MAIL: planaheaddrafting@msn.com
 ON THE WEB @ : www.planaheaddrafting.com

Michael Franklin Clark
 CEO / MANAGER - PRINCIPAL DESIGNER
 Wendy McGrane Clark
 CFO / OFFICE MANAGER

* YOUR HIGH QUALITY AFFORDABLE DESIGN ALTERNATIVE *



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REVISED LEFT HAND STAIRWAY LAYOUT

- 3 BEDROOM WITH BONUS ROOM
- FAMILY ROOM LARGE WINDOWS
- PARGED FOUNDATION & CONCRETE PORCHES WITH BRICK ROWLOCK
- FAMILY ROOM WITH LARGE GABLE WINDOWS
- COMPOSITE REAR DECKING
- HORIZONTAL SIDING
- BOARD & BATTEN MID SECTION
- BOARD & BATTEN SHED DORMER
- PORCH WITHOUT RAILINGS

CONDITIONED CRAWL SPACE

- STANDING SEAM METAL ROOFING AND 35 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER 30# FELT
- * PREFERRED * 1/2" "ZIP" ROOF SHEATHING JF 16" OC * PREFERRED * 5/8" "ZIP" ROOF SHEATHING JF 24" OC
- PANEL SHEATHING CLIPS
- * PREFERRED * 1/2" "ZIP" ROOF SHEATHING JF 16" OC * NOT NEEDED * PREFERRED * UNLESS SHEATHING IS LESS THAN 24" IN WIDTH THEN ONE CLIP IS REQUIRED IN EACH BAY
- PSCL 1/2 CLIPS USE WITH 1/2" PLYWOOD WHEN @ 24" OC
- PSCL 5/8 CLIPS USE WITH 5/8" PLYWOOD WHEN @ 24" OC
- ICE & WATER SHIELD IN ALL VALLEYS & BOTTOM 36" OF ROOF



NOT RESPONSIBLE FOR:
PERMITTING/AGENCY ABILITY
BUILDING CODE ADOPTION
AT THIS POINT IN THE PLANNING PROCESS

ANY QUESTIONS ABOUT THESE PLANS NEED TO BE FORWARDED TO
PLAN AHEAD DRAFTING & DESIGN LLC @ 410-822-3447
WHEN@PLANAHEDDRAFTING.COM

ALL OTHER PLANS REQUESTING THIS DATE ARE NOT VALID AND YOU SHOULD BE DISAPPOINTED THAT YOU WERE NOT NOTIFIED. YOU WILL BE RESPONSIBLE FOR ANY ERRORS OR DISCREPANCIES FROM ANY PREVIOUSLY DATED PLANS SETS.
ANY CHANGES OR NEGOTIATIONS FROM THIS PLAN SET MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN LLC AND THE LOCAL PLANNING & PERMIT OFFICE.
ALL PLAN SETS ARE GUARANTEED FOR 60 DAYS FROM THE DATE ON THE "FINAL" WITHIN THOSE 60 DAYS WILL BE CORRECTED AT NO CHARGE. ANY OMISSIONS, CODE CHANGES, CONTRACTOR CHANGES AFTER THAT DATE WILL BE THE RESPONSIBILITY OF THE HOMEOWNER AND WILL BE DONE AT THE EXPENSE OF THE HOMEOWNER.
ALL STRUCTURAL CHANGES MUST BE ENGINEER APPROVED. ANY CHANGES / DEVIATIONS FROM THESE PLANS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER. HOMEOWNER/CONTRACTOR/ENGINEER RESPONSIBILITY OF DESIGN OR ISSUES WILL BE THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR AND WILL BE DONE AT THEIR EXPENSE.

ALL PHASES OF THE CONSTRUCTION PROCESS MUST FOLLOW THE ICCIRC 2015 BUILDING CODES OR THE MOST CURRENT A/COR. MUST FOLLOW THE MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES. EACH BRITTY - MASONRY, FRAMING OR OTHER TRADES MUST BE COMPLETED AND INSPECTED BEFORE THE NEXT TRADES BEGINS. CONTRACTOR CHANGES AFTER THAT DATE WILL BE THE RESPONSIBILITY OF THE HOMEOWNER AND WILL BE DONE AT THE EXPENSE OF THE HOMEOWNER.
BE BROUGHT TO OUR ATTENTION ASAP TO AVOID LATER ISSUES AND ALLOW FOR ATTENTION AND IS BUILT BY THE DRAWINGS AND NOT BY THE APPLICABLE CODES OR MANUFACTURERS RECOMMENDATIONS AUTOMATICALLY VOIDS AND nullifies ANY FUTURE MITIGATION FOR SUCH ITEMS.

1. STRUCTURAL WOOD BEAMS SHALL BE NO.1,NO.2 SPOUCE-PINE-FIR WITH THE FOLLOWING MINIMUM PROPERTIES:
Fv = 135 psi E = 1400000 psi
2. SECURE MULTIPLE WOOD MEMBERS TOGETHER WITH (2) ROWS OF 16d COMMON NAILS AT 12" O/C. USE GALVANIZED NAILS FOR ALL EXTERIOR BEAMS. Fc = 2510 psi
3. MICROALUM LVL BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
Fv = 769 psi E = 1960000 psi
Fv = 288 psi E = 1960000 psi
4. SECURE MULTIPLE MICROALUM LVL MEMBERS TOGETHER WITH (2) ROWS OF TRUSSLOK SCREWS AT 12" O/C FOR MEMBERS 11 7/8" AND SHALLOWER. FOR MEMBERS DEEPER THAN 11 7/8" USE (3) ROWS OF TRUSSLOK SCREWS AT 12" O/C.
5. SECURE MULTIPLE END STUDS TOGETHER WITH 16d COMMON NAILS AT 8" O/C STAGGERED EACH PLY.
6. ALL BEARING STUDS AND POSTS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR TO TRANSFER MEMBERS AT LOWER DEPTH OF FLOOR AS REQUIRED.

INSULATION TO BE USED:

- EXTERIOR WALLS R-20
- CRAWL SPACE WALLS R-15 OR FIRST FLOOR R-30
- CEILING/ROOF R-49
- INSULATION METHOD MAY BE:
FOAM - OPEN OR CLOSED CELL
FLASH AND BATT OR BATT INSULATION

- WALL CONSTRUCTION:
EXTERIOR 2 x 6 # 2 SPF
INTERIOR 2 x 4 # 2 SPF
- 1" INTERIOR DRYWALL
- 7/16" ZIP" EXTERIOR SHEATHING
- 5/8" TYPE "X" FOR FIRE WALLS & CEILING

TYVEK TYPE VAPOR BARRIER
SIDING, WINDOWS, DOORS, FINISHES, TRIM
PACKAGES, LIGHTING, FIXTURES, AND ROOFING
ARE TO BE DETERMINED BY THE HOMEOWNER

ALL ENGINEERED FLOORING, BEAMS, TRUSSES, AND STEEL TO BE VERIFIED THROUGH MANUFACTURER AND CONTRACTOR. ALL DIMENSIONS WILL BE PROVIDED FOR ON SITE CONSULTATION DURING INSPECTIONS. SUPPLIERS WITH ENGINEERED FLOORING SYSTEMS, ROOF SYSTEMS, LVL BEAMS, STEEL BEAMS, OR OTHER SYSTEMS THAT HAVE BEEN SPECIFIED MAY BE SUBSTITUTED FOR THE CONTENTS HEREIN AS LONG AS ENGINEERED DOCUMENTATION IS PROVIDED.

IF CRAWL SPACE HAS ANY FUEL GAS APPLIANCES PRESENT OR IS TO BE USED AS STORAGE THEN THE BOTTOMS OF THE JOISTS MUST BE COVERED WITH EITHER FIRE RATED DRYWALL, OR FIRE RATED SHEATHING, OR SPRINKLERED

- * PRESCRIPTIVE METHOD *
- * USED IN THIS PLAN SET *

CLIMATE ZONE FOUR (4)

SHEET NUMBER

E-2

PROPOSED ELEVATIONS

RED OAK PROPERTIES

PLAN TYPE: FINAL PLANS

COMPLETION DATE: SEPT. 17, 2020

SCALE: 1/4" = 1'-0" ARCHITECTURAL

CHANGE LEGEND

- #1 8 / 28 / 2020
- #2 9 / 17 / 2020
- #3 10 / 1 / 2020

OWNER & PROPERTY ADDRESS

MAIL: RED OAK PROPERTIES
28589 Brick Row Drive
Oxford, MD 21654

PROPERTY:

ZONING & SETBACK REQUIREMENTS

NOTES:

ALL DIMENSIONS ARE AS ACCURATE AS POSSIBLE CONSIDERING PREEXISTING CONDITIONS UNLESS THE PROJECT IS COMPLETELY NEW CONSTRUCTION. ONLY THE NEW CONSTRUCTION FULLY DIMENSIONED AND DIMENSIONS TOTALLY ACCURATE ON THESE PLANS WITH RESPECT TO PREEXISTING CONDITIONS. ALL DIMENSIONS ARE TAKEN FROM THE OUTSIDE OF THE EXTERIOR SHEATHING TO CENTERLINE OF INTERIOR STUD WALLS UNLESS OTHERWISE NOTED. ALL NEW EXTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.
ALL WINDOWS AND DOORS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.
ALL EXTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.
ALL INTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.
ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, THE DETAILS AND FINISHES ON ANY NEW ADDITIONS ARE TO MATCH THOSE OF ADJACENT EXISTING STRUCTURES OR OF THEIR REPLACEMENTS.
ALL FOOTERS MUST MAINTAIN A MINIMUM DEPTH OF 24" BELOW THE FINISHED GRADE.
ALL EXTERIOR FOUNDATIONS SHALL BE MADE EXACTLY FLUSH AND LEVEL WITH THE ADJACENT EXISTING FLOOR.
ALL FOUNDATION WALLS ARE TO BE TWO COAT PARGE UNLESS OTHERWISE NOTED.
ALL MEASUREMENTS AND LOCATIONS ARE AS ACCURATE AS POSSIBLE GIVEN EXISTING CONDITIONS AND THE ENCLOSED NATURE OF THE EXISTING STRUCTURES.
ALL FRAMING MEMBERS THAT ARE EXISTING ARE LOCATED BY THEIR APPROXIMATE LOCATION BY 8" SANGHO FRAMING METHOD HAVE BEEN FOLLOWED AND HAVE BEEN REPRESENTED AS CLOSELY AS POSSIBLE. IF VISUAL CONTACT HAS BEEN ESTABLISHED OTHERWISE NORMAL FRAMING PRACTICES WILL BE SHOWN.
ALL NEW FRAMING MEMBERS ARE TO MEET OR EXCEED IRC CODE AND LOCATED IN OPTIMAL POSITIONS FOR LOADS AND BEARING. ADJUSTMENTS WILL NEED TO BE MADE DEPENDING ON PREEXISTING FRAMING LOCATIONS.
THE CONTRACTOR ultimately HAS THE LAST DETERMINATION OF EXISTING CONDITIONS AND FRAMING METHODOLOGY USED IN BOTH NEW AND REMODELING CONSTRUCTION. THE FINAL FRAMING DECISIONS MUST BE MADE IN ACCORDANCE WITH MINIMUM IRC CODES AND SAFETY REGULATIONS GREATER. ALL PREEXISTING CONDITIONS MAY HAVE NOT BEEN ABLE TO BE SEEN PRIOR TO DEMOLITION AND THEREFORE MUST BE ALLOWED FOR AND TAKEN INTO ACCOUNT UPON COMMENCEMENT OF CONSTRUCTION.



Michael Franklin Clark
CEO / MANAGER - PRINCIPAL DESIGNER
Wendy McGrane Clark
CFO / OFFICE MANAGER

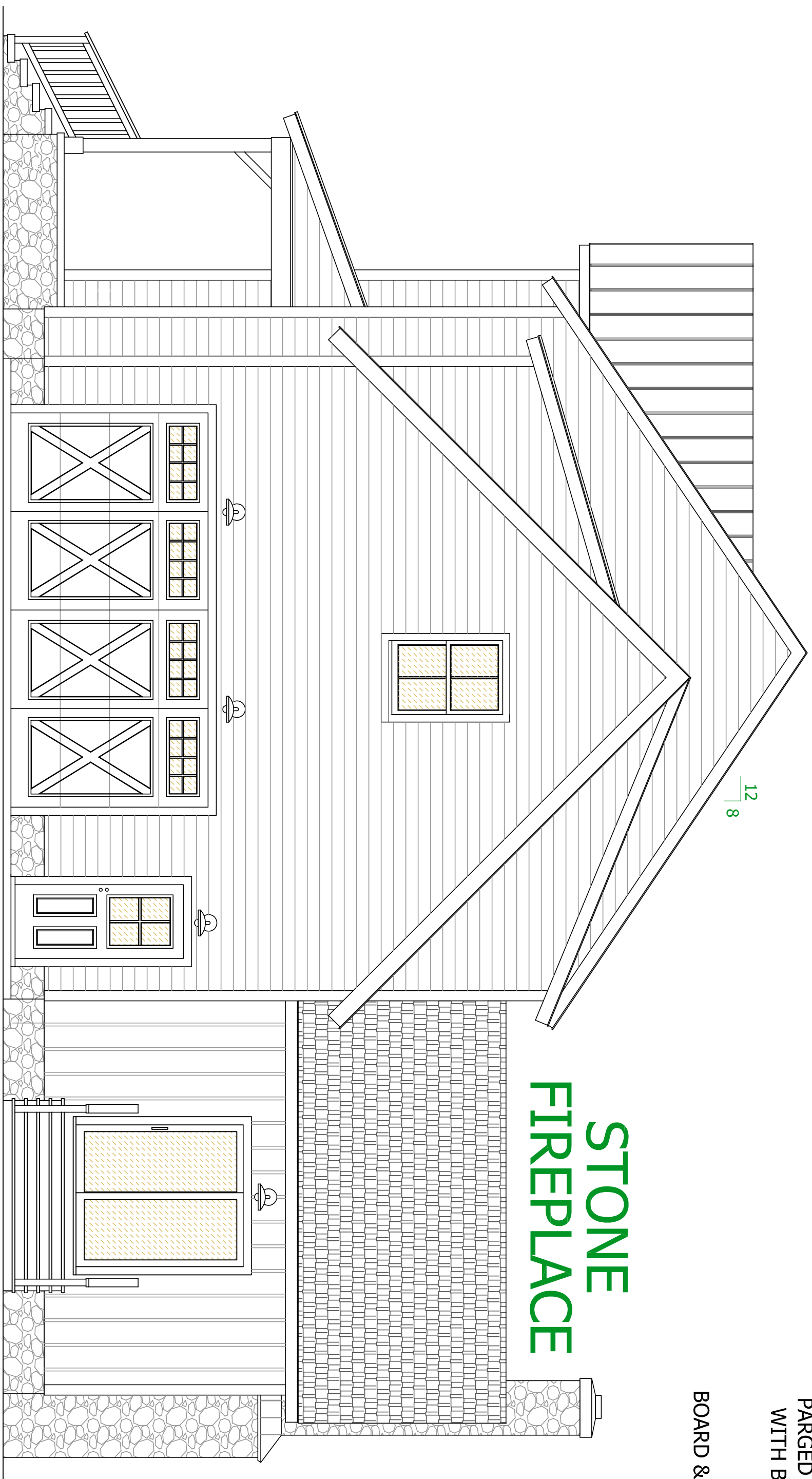
* YOUR HIGH QUALITY AFFORDABLE DESIGN ALTERNATIVE *

9 CHOPTANK AVENUE
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E-MAIL: planaheaddrafting@msn.com
ON THE WEB @ : www.planaheaddrafting.com

CONDITIONED CRAWL SPACE



FRONT ELEVATION



RIGHT SIDE ELEVATION

STONE FIREPLACE

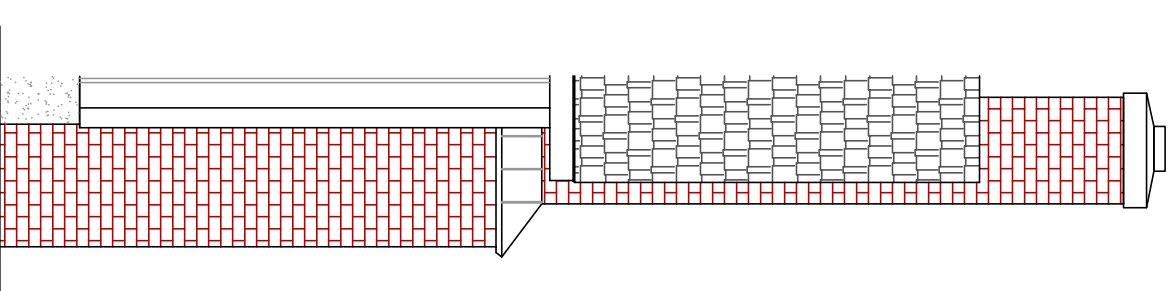
- REVISED LEFT HAND STAIRWAY LAYOUT
- 3 BEDROOM WITH BONUS ROOM
- FAMILY ROOM WITH LARGE STONE OR BRICK FIREPLACE
- STONE FOUNDATION & CONCRETE PORCHES WITH BLUESTONE IF STONE FIREPLACE
- PARGED FOUNDATION & CONCRETE PORCHES WITH BRICK ROWLOCK IF BRICK FIREPLACE
- HORIZONTAL SIDING
- BOARD & BATTEN FRONT GABLE ONLY & FAMILY ROOM
- COMPOSITE REAR DECKING
- PORCH WITHOUT RAILINGS



PANEL SHEATHING CLIPS
PSCL 5/8
USE WITH PLYWOOD 24" OC



PANEL SHEATHING CLIPS
PSCL 1/2
USE WITH PLYWOOD 24" OC
NOT NEEDED @ 16" OC
UNLESS SHEETING IS LESS THAN 24" IN WIDTH THEN ONE CLIP IS REQUIRED IN EACH BAY



BRICK FIREPLACE

- STANDING SEAM METAL ROOFING AND 35 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER 30# FELT
- * PREFERRED * 1/2" "ZIP" ROOF SHEATHING IF 16" OC * PREFERRED * 5/8" "ZIP" ROOF SHEATHING IF 24" OC
- PANEL SHEATHING CLIPS
- * PREFERRED * 1/2" "ZIP" ROOF SHEATHING IF 16" OC * NOT NEEDED * PREFERRED * UNLESS SHEETING IS LESS THAN 24" IN WIDTH THEN ONE CLIP IS REQUIRED IN EACH BAY
- PSCL 1/2 CLIPS USE WITH 1/2" PLYWOOD WHEN @ 24" OC
- PSCL 5/8 CLIPS USE WITH 5/8" PLYWOOD WHEN @ 24" OC
- ICE & WATER SHIELD IN ALL VALLEYS & BOTTOM 36" OF ROOF



ANY QUESTIONS ABOUT THESE PLANS NEED TO BE FORWARDED TO
PLAN AHEAD DRAFTING & DESIGN LLC @ 410-822-3447
WWW.PLANAHEADORIGINAL.COM

ALL OTHER PLANS REGARDING THIS DATE ARE NULL AND VOID AND SHOULD BE DISCARDED. ANY CHANGES TO THESE PLANS MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN LLC AND THE LOCAL PLANNING & PERMIT OFFICE.
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ALL STRUCTURAL CHANGES MUST BE ENGINEER APPROVED. ANY CHANGES / DEVIATIONS FROM THESE PLANS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER / HOMEOWNER CONTRACTOR. ENGINEERING CONSULTANTS OR DESIGNERS OF ISSUES WILL BE THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR AND WILL BE DONE AT THEIR EXPENSE.

ALL PHASES OF THE CONSTRUCTION PROCESS MUST FOLLOW THE ICC-BC 2015 BUILDING CODES OR THE MOST CURRENT IBC OR MUST FOLLOW THE MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES. EACH ENTRY - MASONRY, FRAMING CODE SPECIFIC AND THOSE ENTRIES CODES MUST BE FOLLOWED BY THE CONTRACTOR. THOSE ITEMS REFLECTED IN THIS DRAWING SET, ANY DISCREPANCIES NEED TO BE BROUGHT TO OUR ATTENTION ASAP TO AVOID LATER ISSUES AND ALLOW FOR CORRECTIONS TO BE MADE PRIOR TO CONSTRUCTION. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE AND NOT BY THE DRAWINGS AND NOT BY THE APPLICABLE CODES OR MANUFACTURERS RECOMMENDATIONS AUTOMATICALLY VOID AND NULLIFIES ANY FUTURE INTENTION FOR SUCH ITEMS.

- STRUCTURAL WOOD BEAMS SHALL BE NO.1,NO.2 SPOUCE-FINE-FIR WITH THE FOLLOWING MINIMUM PROPERTIES:
Fv = 135 psf E = 1400000 psf
- SECURE MULTIPLE WOOD MEMBERS TOGETHER WITH (2) ROWS OF 16d COMMON NAILS AT 12" O/C. USE GALVANIZED NAILS FOR ALL EXTERIOR BEAMS. Fc = 2510 psf
- MICROSLAM LVL BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
Fv = 285 psf E = 1960000 psf
- SECURE MULTIPLE MICROSLAM LVL MEMBERS TOGETHER WITH (2) ROWS OF TRUSSLOK SCREWS AT 12" O/C FOR MEMBERS 11 7/8" AND SMALLER. FOR MEMBERS DEEPER THAN 11 7/8" USE (3) ROWS OF TRUSSLOK SCREWS AT 12" O/C.
- SECURE MULTIPLE END STUDS TOGETHER WITH 16d COMMON NAILS AT 8" O/C STAGGERED EACH PLY.
- ALL BEARING STUDS AND POSTS SHALL BE CONTINUOUS DOWN DEPTH OF FLOOR AS REQUIRED.

INSULATION TO BE USED:
EXTERIOR WALLS R-20
CRAWL SPACE WALLS R-15
OR FIRST FLOOR R-30
CEILING/ROOF R-49
INSULATION METHOD MAY BE:
FOAM - OPEN OR CLOSED CELL
FLASH AND BATT OR BATT INSULATION
WALL CONSTRUCTION:
EXTERIOR 2 x 6 # 2 SPF
INTERIOR 2 x 4 # 2 SPF
1" INTERIOR DRYWALL
7/16" ZIP" EXTERIOR SHEATHING
5/8" TYPE "X" FOR FIRE WALLS & CEILING

TYVEK TYPE VAPOR BARRIER
SIDING, WINDOWS, DOORS, FINISHES, TRIM
PACKAGES, LIGHTING, FIXTURES, AND ROOFING
ARE TO BE DETERMINED BY THE HOMEOWNER
ALL ENGINEERED FLOORING, BEAMS, TRUSSES, AND STEEL TO BE
VERIFIED THROUGH MANUFACTURERS AND CONTRACTORS
WILL BE PROVIDED FOR ON SITE CONSULTATION DURING
INSPECTIONS. SUPPLIERS WITH ENGINEERED FLOORING SYSTEMS,
ROOF SYSTEMS, LVL BEAMS, STEEL BEAMS, OR OTHER SYSTEMS
THAT HAVE BEEN SPECIFIED MAY BE SUBSTITUTED FOR THE
CONTENTS HEREIN AS LONG AS ENGINEERED DOCUMENTATION IS
PROVIDED.
IF CRAWL SPACE HAS ANY FUEL GAS APPLIANCES PRESENT
OR IS TO BE USED AS STORAGE THEN THE BOTTOMS OF
THE I-JOISTS MUST BE COVERED WITH EITHER FIRE RATED
DRYWALL, OR FIRE RATED SHEATHING, OR SPRINKLERED

- * PREScriptive METHOD *
- * USED IN THIS PLAN SET *
- CLIMATE ZONE FOUR (4)

SHEET NUMBER

E-3

PROPOSED ELEVATIONS
RED OAK PROPERTIES

PLAN TYPE: FINAL PLANS
COMPLETION DATE: SEPT. 17, 2020
SCALE: 1/4" = 1'-0" ARCHITECTURAL

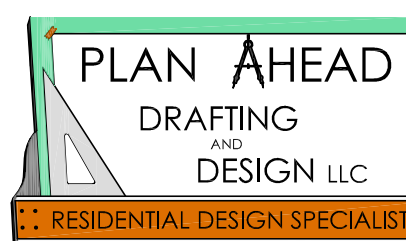
CHANGE LEGEND	
1	8 / 28 / 2020
2	9 / 17 / 2020
3	10 / 1 / 2020

OWNER & PROPERTY ADDRESS

MAIL: RED OAK PROPERTIES
26589 Brick Row Drive
Oxford, MD 21654

PROPERTY:

ZONING & SETBACK REQUIREMENTS



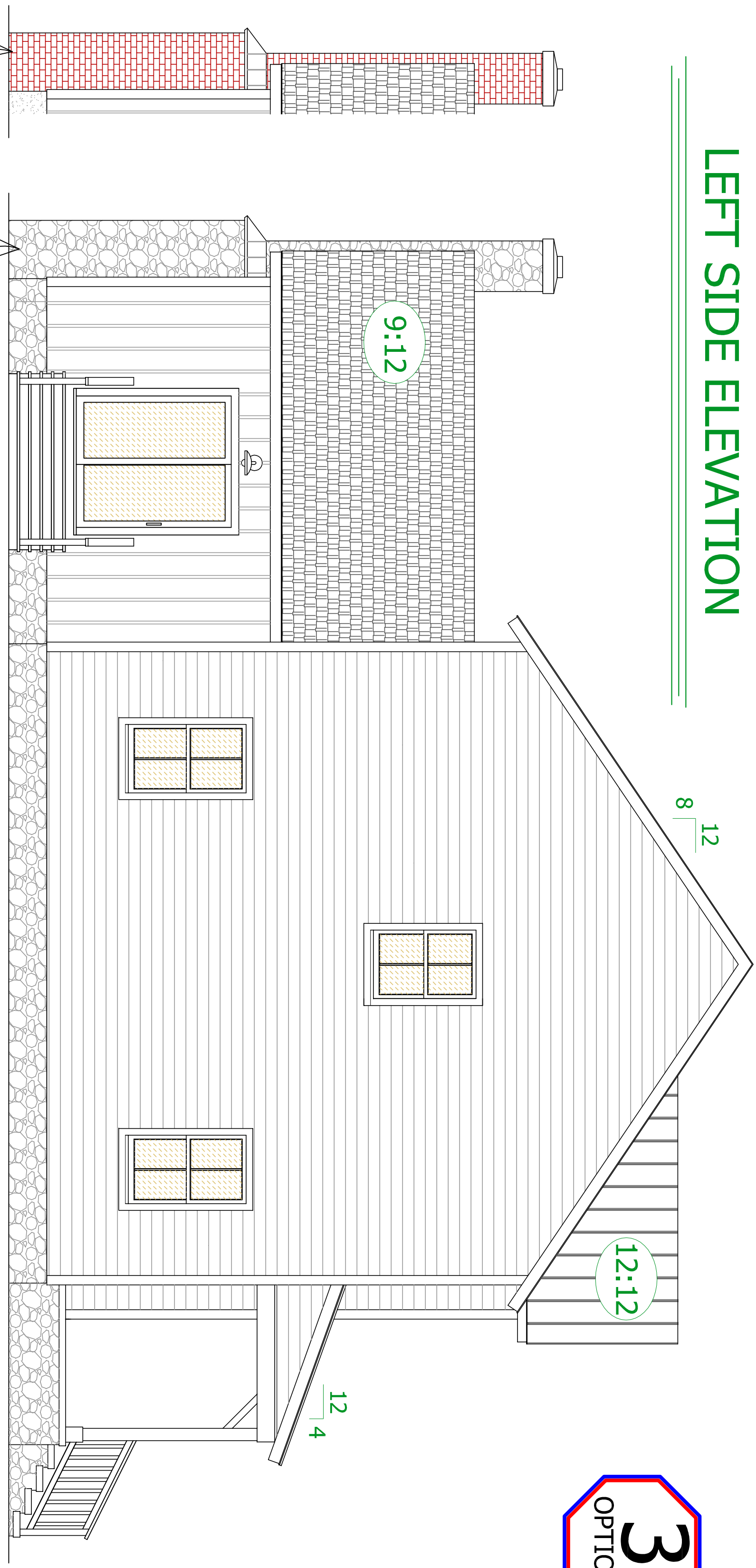
Michael Franklin Clark
CEO / MANAGER - PRINCIPAL DESIGNER
Wendy McGrane Clark
CFO / OFFICE MANAGER

* YOUR HIGH QUALITY AFFORDABLE DESIGN ALTERNATIVE *

9 CHOPTANK AVENUE
EASTON, MD 21601-4032
PHONE: 410-822-3447 FAX 410-822-3927
E-MAIL: planaheaddrafting@msn.com
ON THE WEB @ : www.planaheaddrafting.com

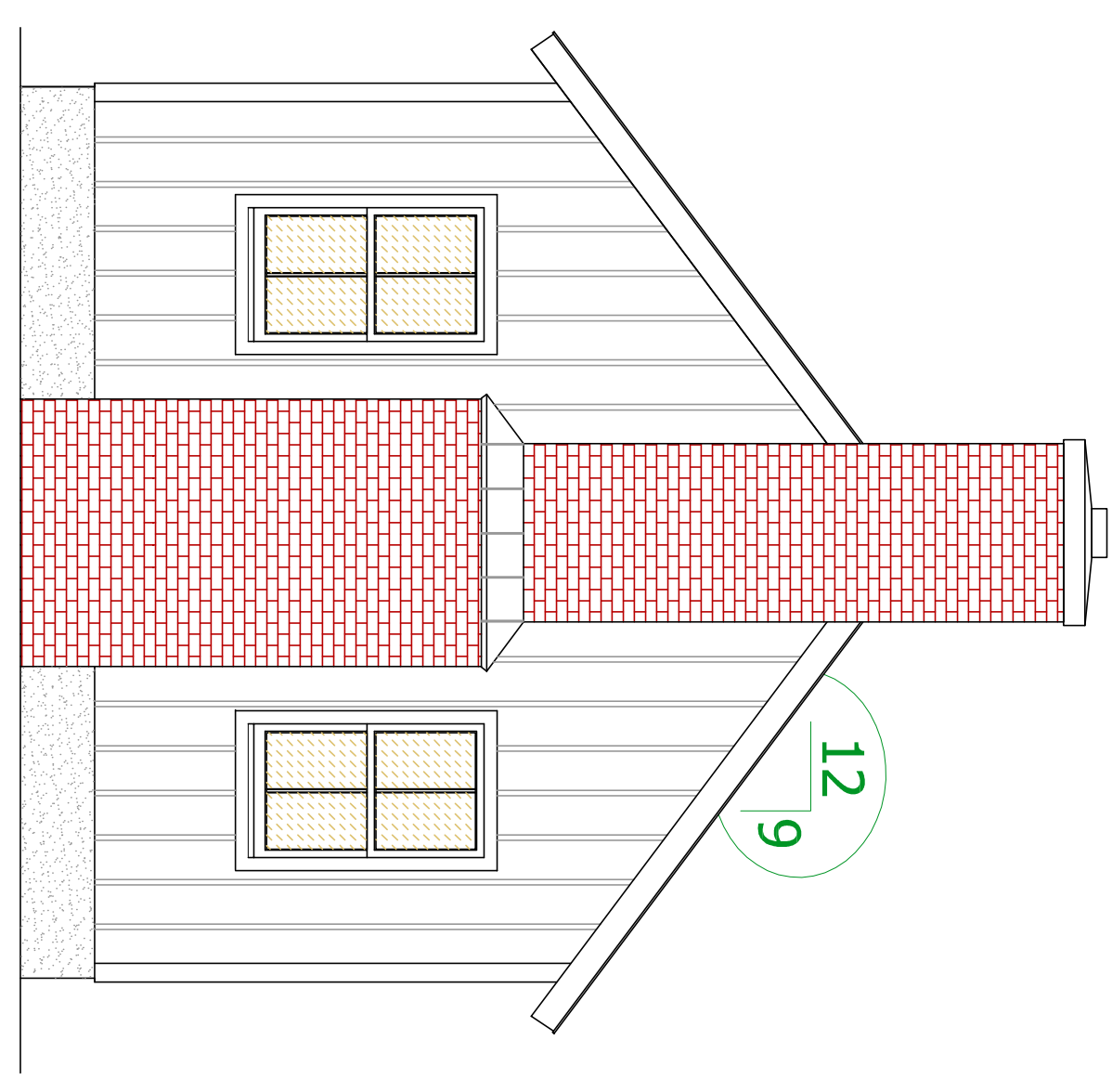
NOTES:
ALL DIMENSIONS ARE AS ACCURATE AS POSSIBLE CONSIDERING PREEXISTING CONDITIONS UNLESS THE PROJECT IS COMPLETELY NEW CONSTRUCTION. ONLY THE NEW CONSTRUCTION FULLY DIMENSIONED AND DETAILED TO ACCURATE ON THESE PLANS WITH RESPECT TO PREEXISTING CONDITIONS. ALL DIMENSIONS ARE TAKEN FROM THE OUTSIDE OF THE EXTERIOR SHEATHING TO CENTERLINE OF INTERIOR STUD WALLS UNLESS OTHERWISE NOTED. ALL NEW EXTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.
ALL INTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.
ALL WINDOWS AND DOORS ARE TO BE CONSIDERED NEW UNLESS MARKED RECYCLING/EXISTING ON THE WINDOW OR DOOR SCHEDULES.
ALL EXTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.
ALL INTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.
ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, TRIMS, AND FINISHES ON ANY NEW ADDITIONS ARE TO MATCH THOSE OF ADJACENT EXISTING STRUCTURES OR OF THE REPLACEMENTS.
ALL FOOTERS MUST MAINTAIN A MINIMUM DEPTH OF 24" BELOW THE FINISHED GRADE.
ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, TRIMS, AND FINISHES ON ANY NEW ADDITIONS ARE TO MATCH THOSE OF ADJACENT EXISTING STRUCTURES OR OF THE REPLACEMENTS.
ALL FOUNDATION WALLS ARE TO BE TWO COAT PARGED UNLESS OTHERWISE NOTED.
ALL MEASUREMENTS AND LOCATIONS ARE AS ACCURATE AS POSSIBLE GREEN EXISTING CONDITIONS AND THE ENCLOSED NATURE OF THE EXISTING STRUCTURES.
ALL FRAMING MEMBERS THAT ARE EXISTING ARE LOCATED BY THEIR APPROXIMATE LOCATIONS BY STANDARD FRAMING METHODS HAVE BEEN FOLLOWED AND HAVE BEEN REPRESENTED AS CLOSELY AS POSSIBLE. IF VISUAL CONTACT HAS BEEN ESTABLISHED OTHERWISE NORMAL FRAMING PRACTICES WILL BE SHOWN.
ALL NEW FRAMING MEMBERS ARE TO MEET OR EXCEED IRC CODE AND LOCATED IN OPTIMAL POSITIONING FOR LOADS AND BEARING. ADJUSTMENTS WILL NEED TO BE MADE DEPENDING ON PREEXISTING FRAMING LOCATIONS.
THE CONTRACTOR LVL MATERIAL HAS THE LAST DETERMINATION OF EXISTING CONDITIONS AND FRAMING METHODOLOGY USED IN BOTH NEW AND REMODELING CONSTRUCTION. THE FINAL FRAMING DECISIONS MUST BE MADE IN ACCORDANCE WITH MINIMUM IRC CODES AND SAFETY REGULATIONS GREATER. ALL PREEXISTING CONDITIONS MAY HAVE NOT BEEN ABLE TO BE SEEN PRIOR TO DEMOLITION AND THEREFORE MUST BE ALLOWED FOR AND TAKEN INTO ACCOUNT UPON COMMENCEMENT OF CONSTRUCTION.

LEFT SIDE ELEVATION



REVISED LEFT HAND STAIRWAY LAYOUT
 3 BEDROOM WITH BONUS ROOM
 FAMILY ROOM WITH LARGE STONE OR BRICK FIREPLACE
 STONE FOUNDATION & CONCRETE PORCHES
 WITH BLUESTONE IF STONE FIREPLACE
 PARGED FOUNDATION & CONCRETE PORCHES
 WITH BRICK ROWLOCK IF BRICK FIREPLACE
 HORIZONTAL SIDING
 BOARD & BATTEN FRONT GABLE ONLY & FAMILY ROOM
 COMPOSITE REAR DECKING
 PORCH WITHOUT RAILINGS

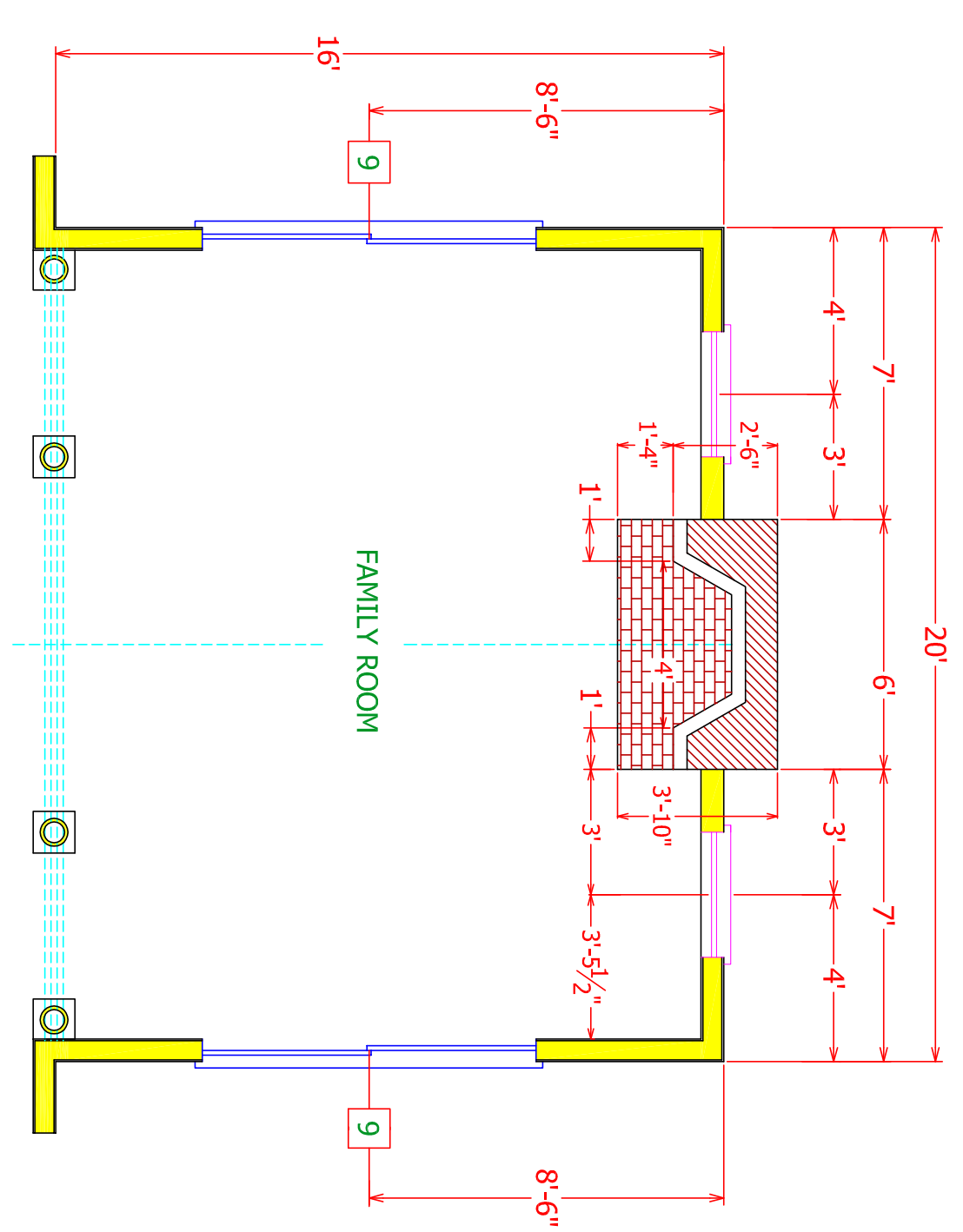
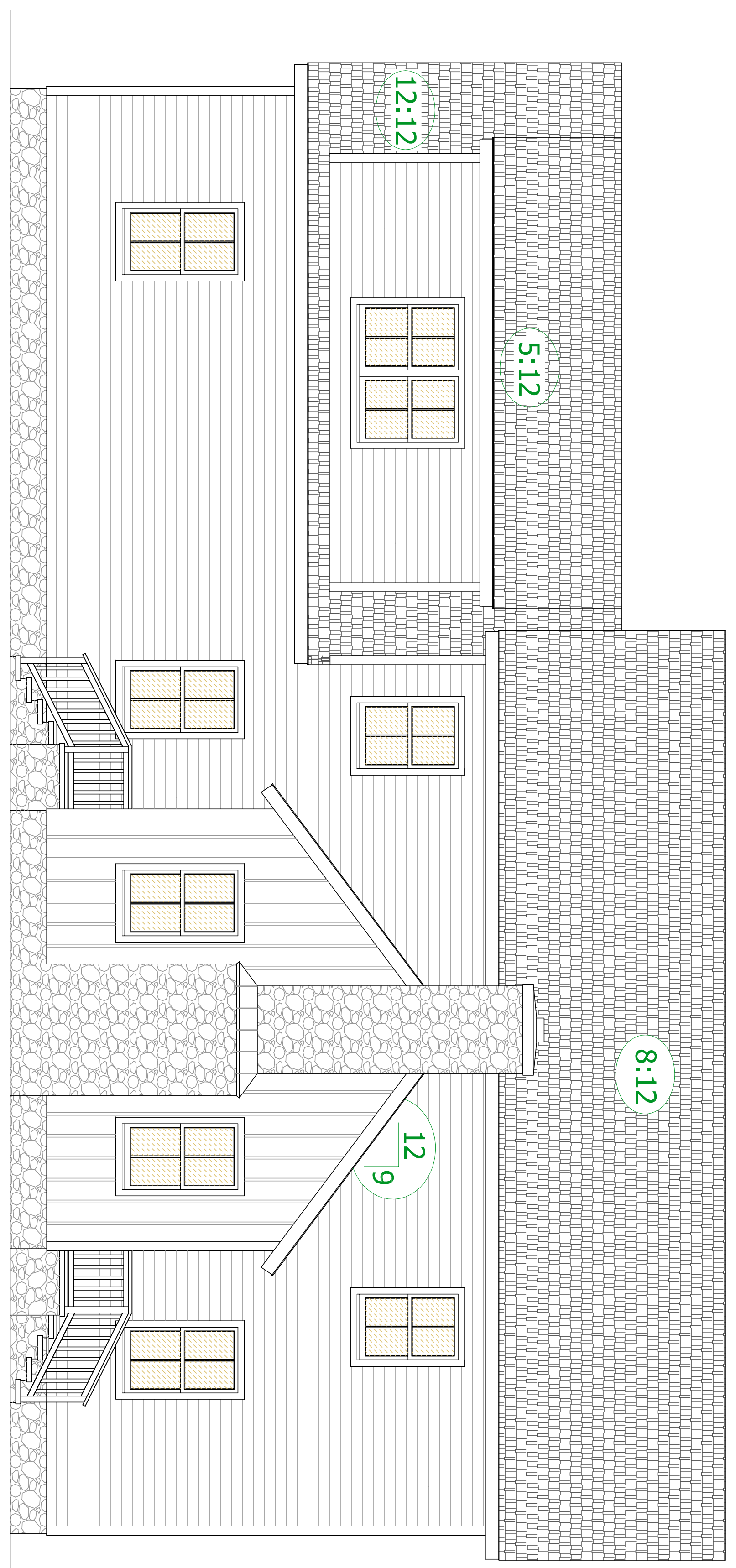
CONDITIONED CRAWL SPACE



BRICK FIREPLACE

- * PREFERRED * 1/2" "ZIP" ROOF SHEATHING IF 16" OC * NOT NEEDED * PREFERRED * UNLESS SHEATHING IS LESS THAN 24" IN WIDTH THEN ONE CLIP IS REQUIRED IN EACH BAY
- * PREFERRED * 1/2" "ZIP" ROOF SHEATHING IF 16" OC * PREFERRED * 5/8" "ZIP" ROOF SHEATHING IF 24" OC
- PANEL SHEATHING CLIPS
- * PREFERRED * 1/2" "ZIP" ROOF SHEATHING IF 16" OC * NOT NEEDED * PREFERRED * UNLESS SHEATHING IS LESS THAN 24" IN WIDTH THEN ONE CLIP IS REQUIRED IN EACH BAY
- PSCCL 1/2 CLIPS USE WITH 1/2" PLYWOOD WHEN @ 24" OC
- PSCCL 5/8 CLIPS USE WITH 5/8" PLYWOOD WHEN @ 24" OC
- ICE & WATER SHIELD IN ALL VALLEYS & BOTTOM 36" OF ROOF
- STANDING SEAM METAL ROOFING AND 35 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER 30# FELT
- * PREFERRED * 1/2" "ZIP" ROOF SHEATHING IF 16" OC * PREFERRED * 5/8" "ZIP" ROOF SHEATHING IF 24" OC

REAR ELEVATION



NOT RESPONSIBLE FOR:
 PERMITTING AGENCY
 BUILDING CODE ADOPTION
 AT THIS POINT IN THE PLANNING PROCESS

ANY QUESTIONS ABOUT THESE PLANS NEED TO BE FORWARDED TO
 PLAN AHEAD DRAFTING & DESIGN, LLC @ 410-822-3447
 WWW.PLANAHEADDRAFTING.COM

ALL OTHER PLANS RECEIVING THIS DATE ARE NULL AND VOID AND SHOULD BE DISREGARDED. THESE PLANS ARE THE PROPERTY OF PLAN AHEAD DRAFTING & DESIGN, LLC. ANY CHANGES OR DISCREPANCIES FROM ANY PREVIOUSLY DATED PLAN SETS, ANY CHANGES OR DISCREPANCIES FROM THIS PLAN SET MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN, LLC AND THE LOCAL PLANNING & ZONING OFFICE.

ALL PLANS SET ARE GUARANTEED FOR 90 DAYS FROM THE DATE OF THE FINAL SIGNATURE. ANY CHANGES OR DISCREPANCIES FROM ANY PREVIOUSLY DATED PLAN SETS, ANY CHANGES OR DISCREPANCIES FROM THIS PLAN SET MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN, LLC AND THE LOCAL PLANNING & ZONING OFFICE.

ALL STRUCTURAL CHANGES MUST BE ENGINEER APPROVED. ANY CHANGES / DEVIATIONS FROM THESE PLANS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER. HOMEOWNER CONTRACTOR OR ENGINEER. ENGINEER'S LIABILITY FOR DESIGN OF ISSUES WILL BE THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR AND WILL BE DONE AT THEIR EXPENSE.

ALL PHASES OF THE CONSTRUCTION PROCESS MUST FOLLOW THE IBC/IRC 2015 BUILDING CODES OR THE MOST CURRENT IBC/IRC. MUST FOLLOW THE MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES. EACH ENTRY - MASONRY, FRAMING CODE SPECIFIC AND THOSE ENTITIES CODES MUST BE FOLLOWED WHEN IT DIFFERS THAN THOSE ITEMS REFLECTED IN THIS DRAWING SET. ANY DISCREPANCIES NEED TO BE BROUGHT TO OUR ATTENTION ASAP TO AVOID LATER ISSUES AND ALLOW FOR CORRECTIONS TO BE MADE BEFORE CONSTRUCTION BEGINS. ALL STRUCTURAL CHANGES AND IS BUILT BY THE DRAWINGS AND NOT BY THE APPLICABLE CODES OR MANUFACTURERS RECOMMENDATIONS AUTOMATICALLY VOIDS AND nullifies ANY FUTURE INTENTION FOR SUCH ITEMS.

1. STRUCTURAL WOOD BEAMS SHALL BE NO.1,INO.2, SPOUCE-PINE-FIR TO THE FOLLOWING MINIMUM PROPERTIES:
 Fv = 135 psi E = 1400000 psi
2. SECURE MULTIPLE WOOD MEMBERS TOGETHER WITH (2) ROWS OF 16d COMMON NAILS AT 12" O/C. USE GALVANIZED NAILS FOR ALL EXTERIOR BEAMS. Fc = 2510 psi
3. MICROUAM LVL BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
 Fv = 760 psi E = 1900000 psi
4. SECURE MULTIPLE MICROUAM LVL MEMBERS TOGETHER WITH (2) ROWS OF TRUSSLOK SCREENS AT 12" O/C FOR MEMBERS 11 7/8" USE (3) AND SMALLER. FOR MEMBERS DEEPER THAN 11 7/8" USE (3) ROWS OF TRUSSLOK SCREENS AT 12" O/C.
5. SECURE MULTIPLE END STUDS TOGETHER WITH 16d COMMON NAILS AT 8" O/C SPACED EACH PLY.
6. ALL BEARING STUDS AND POSTS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR TO TRANSFER MEMBERS AT LOWER DEPTH OF FLOOR AS REQUIRED.

INSULATION TO BE USED:
 EXTERIOR WALLS R-20
 CRAWL SPACE WALLS R-15
 OR FIRST FLOOR R-30
 CEILING/ROOF R-49
 INSULATION METHOD MAY BE:
 FOAM - OPEN OR CLOSED CELL
 FLASH AND BATT OR BATT INSULATION

WALL CONSTRUCTION:
 EXTERIOR 2 x 6 # 2 SPF
 INTERIOR 2 x 4 # 2 SPF
 1" INTERIOR DRYWALL
 7/16" ZIP" EXTERIOR SHEATHING
 5/8" TYPE 'X' FOR FIRE WALLS & CEILING

TYVEK TYPE VAPOR BARRIER
 SIDING, WINDOWS, DOORS, FINISHES, TRIM
 PACKAGES, LIGHTING, FIXTURES, AND ROOFING
 ARE TO BE DETERMINED BY THE HOMEOWNER

ALL ENGINEERED FLOORING BEAMS, TRUSSES, AND STEEL TO BE VERIFIED THROUGH MANUFACTURERS AND CONTRACTOR. A PLAN WILL BE PROVIDED FOR ON SITE CONSULTATION DURING INSPECTIONS. SUPPLIERS WITH ENGINEERED FLOORING SYSTEMS, ROOF SYSTEMS, LVL BEAMS, STEEL BEAMS, OR OTHER SYSTEMS THAT HAVE BEEN SPECIFIED MAY BE SUBSTITUTED FOR THE CONTENTS HEREIN AS LONG AS ENGINEERED DOCUMENTATION IS PROVIDED.

IF CRAWL SPACE HAS ANY PUELGAS APPLIANCES PRESENT OR IS TO BE USED AS STORAGE THEN THE BOTTOMS OF THE JOISTS MUST BE COVERED WITH EITHER FIRE RATED DRYWALL, OR FIRE RATED SHEATHING, OR SPRINKLERED

* PRESCRIPTIVE METHOD *
 * USED IN THIS PLAN SET *
 CLIMATE ZONE FOUR (4)

SHEET NUMBER
E-4

PROPOSED ELEVATIONS							
RED OAK PROPERTIES							
PLAN TYPE: FINAL PLANS	CHANGE LEGEND						
COMPLETION DATE: SEPT. 17, 2020	<table border="1"> <tr> <td>1</td> <td>8 / 28 / 2020</td> </tr> <tr> <td>2</td> <td>9 / 17 / 2020</td> </tr> <tr> <td>3</td> <td>10 / 1 / 2020</td> </tr> </table>	1	8 / 28 / 2020	2	9 / 17 / 2020	3	10 / 1 / 2020
1	8 / 28 / 2020						
2	9 / 17 / 2020						
3	10 / 1 / 2020						
SCALE: 1/4" = 1'-0" ARCHITECTURAL							

OWNER & PROPERTY ADDRESS
 MAIL: RED OAK PROPERTIES
 28589 Brick Row Drive
 Oxford, MD 21654

PROPERTY:
 ZONING & SETBACK REQUIREMENTS

NOTES:
 ALL DIMENSIONS ARE AS ACCURATE AS POSSIBLE CONSIDERING PREEXISTING CONDITIONS UNLESS THE PROJECT IS COMPLETELY NEW CONSTRUCTION. ONLY TO THE EXTENT OF CONSTRUCTION FULLY DIMENSIONED AND DIMENSIONS TOTALY ACCURATE ON THESE PLANS WITH RESPECT TO PREEXISTING CONDITIONS. ALL DIMENSIONS ARE TAKEN FROM THE OUTSIDE OF THE EXTERIOR SHEATHING TO CENTERLINE OF INTERIOR STUD WALLS UNLESS OTHERWISE NOTED. ALL NEW EXTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.
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 ALL EXTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.
 ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, TRIMS, AND FINISHES ON ANY NEW ADDITIONS ARE TO MATCH THOSE OF ADJACENT EXISTING STRUCTURES OR OF THEIR REPLACEMENTS.
 ALL FLOORS MUST MAINTAIN A MINIMUM DEPTH OF 2" BELOW THE FINISHED GRADE.
 ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, TRIMS, AND FINISHES ON ANY NEW ADDITIONS ARE TO MATCH THOSE OF ADJACENT EXISTING STRUCTURES OR OF THEIR REPLACEMENTS.
 ALL FOUNDATION WALLS ARE TO BE TWO COAT PARGE UNLESS OTHERWISE NOTED.
 ALL MEASUREMENTS AND LOCATIONS ARE AS ACCURATE AS POSSIBLE GIVEN EXISTING CONDITIONS AND THE ENCLOSED NATURE OF THE EXISTING STRUCTURES.
 ALL FRAMING MEMBERS THAT ARE EXISTING ARE LOCATED BY THEIR APPROXIMATE LOCATION BY STANDARD FRAMING PRACTICES WILL BE SHOWN.
 AS CLOSELY AS POSSIBLE IF VISUAL CONTACT HAS BEEN ESTABLISHED OTHERWISE NORMAL FRAMING PRACTICES WILL BE SHOWN.
 ALL NEW FRAMING MEMBERS ARE TO BE SET OR EXCEED IRC CODE AND LOCATED IN OPTIMAL POSITIONS FOR LOADS AND BEARING. ADJUSTMENTS WILL NEED TO BE MADE DEPENDING ON PREEXISTING FRAMING LOCATIONS.
 THE CONTRACTOR ULTIMATELY HAS THE LAST DETERMINATION OF EXISTING CONDITIONS AND FRAMING METHODOLOGY USED IN BOTH NEW AND REMODELING CONSTRUCTION. THE FINAL FRAMING DECISIONS MUST BE MADE IN ACCORDANCE WITH MINIMUM CODES AND SAFETY REGULATIONS GREATER. ALL PREEXISTING CONDITIONS MAY HAVE NOT BEEN ABLE TO BE SEEN PRIOR TO DEMOLITION AND THEREFORE MUST BE ALLOWED FOR AND TAKEN INTO ACCOUNT UPON COMMENCEMENT OF CONSTRUCTION.

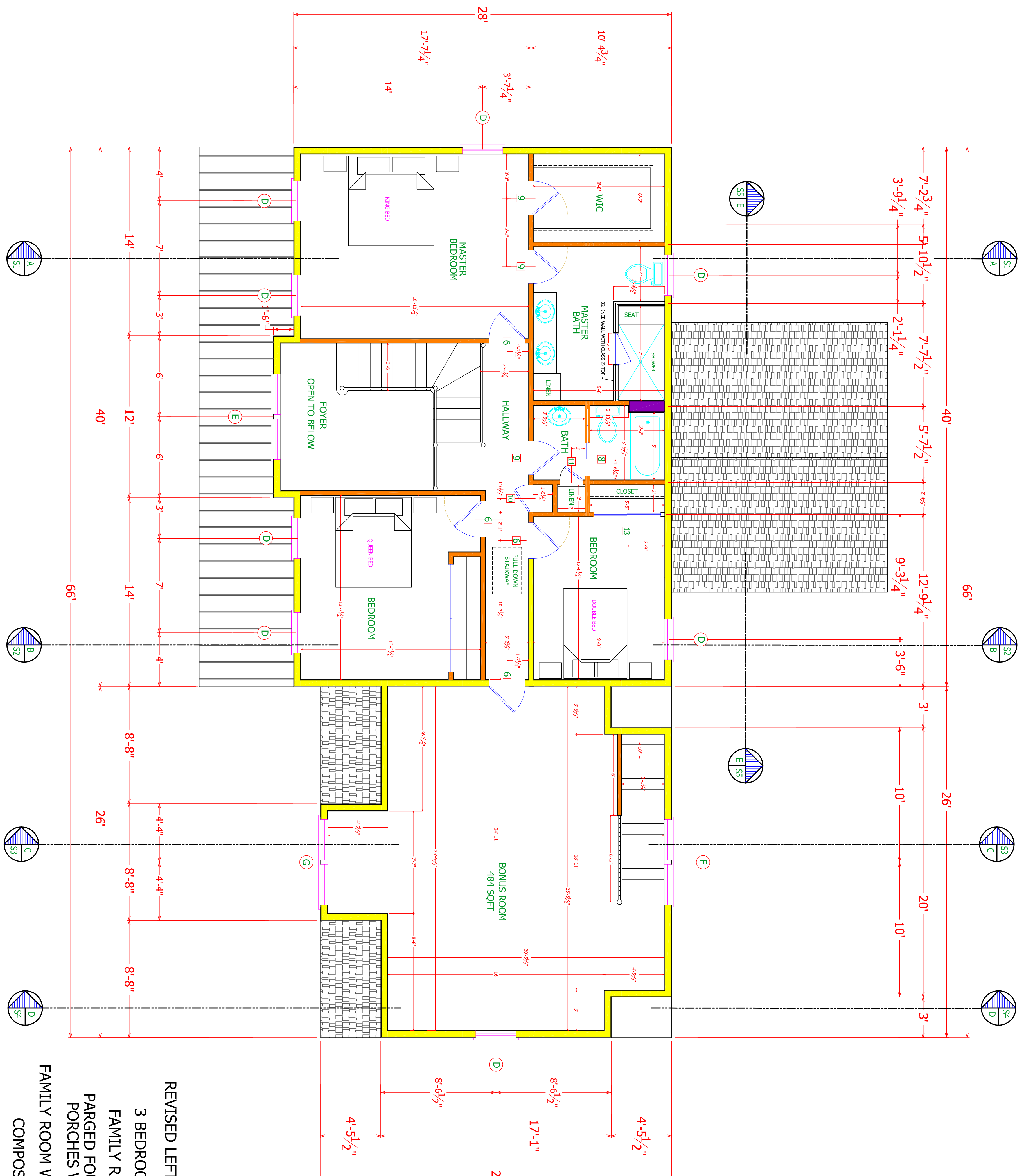
Michael Franklin Clark
 CEO / MANAGER - PRINCIPAL DESIGNER

Wendy McGrane Clark
 CFO / OFFICE MANAGER

PLAN AHEAD DRAFTING & DESIGN, LLC
 RESIDENTIAL DESIGN SPECIALIST

9 CHOPTANK AVENUE
 EASTON, MD 21601-4032
 PHONE: 410-822-3447 FAX 410-822-3927
 E-MAIL: planaheaddrafting@msn.com
 ON THE WEB @ : www.planaheaddrafting.com

* YOUR HIGH QUALITY AFFORDABLE DESIGN ALTERNATIVE *



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0" ARCHITECTURAL
1140 sqft
 BONUS ROOM 484 SQFT



- REVISED LEFT HAND STAIRWAY LAYOUT
- 3 BEDROOM WITH BONUS ROOM
- FAMILY ROOM LARGE WINDOWS
- PARGED FOUNDATION & CONCRETE PORCHES WITH BRICK ROWLOCK
- FAMILY ROOM WITH LARGE GABLE WINDOWS
- COMPOSITE REAR DECKING
- HORIZONTAL SIDING
- BOARD & BATTEN MID SECTION
- BOARD & BATTEN SHED DORMER
- PORCH WITHOUT RAILINGS
- CONDITIONED CRAWL SPACE



NOT RESPONSIBLE FOR:
 PERMITTING AGENCY
 BUILDING CODE ADOPTANCE
 AT THE POINT IN THE PLANNING PROCESS

ANY QUESTIONS ABOUT THESE PLANS NEED TO BE FORWARDED TO
 PLAN AHEAD DRAFTING & DESIGN, LLC @ 410-822-3447
 WWW.PLANAHEADDRAFTING.COM

ALL OTHER PLANS RECEIVING THIS DATE ARE NULL AND VOID AND SHOULD BE DISREGARDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE. ANY ERRORS OR DISCREPANCIES FROM ANY PREVIOUSLY DATED PLANS SETS, ANY CHANGES OR NEGOTIATIONS FROM THIS PLAN SET MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN, LLC AND THE LOCAL PLANNING & PERMIT OFFICE.

ALL PLAN SETS ARE GUARANTEED FOR 60 DAYS FROM THE DATE ON THE "FINAL" WITHIN THOSE 60 DAYS WILL BE CORRECTED AT NO CHARGE. ANY OMISSIONS, CODE CHANGES, CONTRACTOR CHANGES AFTER THAT DATE WILL BE THE RESPONSIBILITY OF THE HOMEOWNER AND WILL BE DONE AT THE EXPENSE OF THE HOMEOWNER.

ALL STRUCTURAL CHANGES MUST BE ENGINEER APPROVED. ANY CHANGES / DEVIATIONS FROM THESE PLANS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER. HOMEOWNER CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE. ANY ERRORS OR DISCREPANCIES FROM ANY PREVIOUSLY DATED PLANS SETS, ANY CHANGES OR NEGOTIATIONS FROM THIS PLAN SET MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN, LLC AND THE LOCAL PLANNING & PERMIT OFFICE.

- STRUCTURAL WOOD BEAMS SHALL BE NO.1, NO.2 SPRUCE-PINE-FIR WITH THE FOLLOWING MINIMUM PROPERTIES:
 Fv = 135 psf E = 1400000 psf
- SECURE MULTIPLE WOOD MEMBERS TOGETHER WITH (2) ROWS OF 16d COMMON NAILS AT 12" O/C. USE GALVANIZED NAILS FOR ALL EXTERIOR BEAMS. Fc = 2510 psf
- MICROLUM LVL BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
 Fv = 760 psf E = 1960000 psf Fv = 285 psf E = 1960000 psf
- SECURE MULTIPLE MICROLUM LVL MEMBERS TOGETHER WITH (2) ROWS OF TRUSSLOK SCREWS AT 12" O/C FOR MEMBERS 11 7/8" AND SMALLER. FOR MEMBERS DEEPER THAN 11 7/8" USE (3) ROWS OF TRUSSLOK SCREWS AT 12" O/C.
- SECURE MULTIPLE END STUDS TOGETHER WITH 16d COMMON NAILS AT 8" O/C STAGGERED EACH PLY.
- ALL BEARING STUDS AND POSTS SHALL BE CONTINUOUS DOWN DEPTH OF FLOOR AS REQUIRED.

INSULATION TO BE USED:
 EXTERIOR WALLS R-20
 CRAWL SPACE WALLS R-15 OR FIRST FLOOR R-30
 CEILING/ROOF R-49
 INSULATION METHOD MAY BE:
 FOAM - OPEN OR CLOSED CELL
 FLASH AND BATT OR BATT INSULATION

WALL CONSTRUCTION:
 EXTERIOR 2 X 6 # 2 SPF
 INTERIOR 2 X 4 # 2 SPF
 1" INTERIOR DRYWALL
 7/16" ZIP" EXTERIOR SHEATHING
 5/8" TYPE 'X' FOR FIRE WALLS & CEILING

TYVEK TYPE VAPOR BARRIER
 SIDING, WINDOWS, DOORS, FINISHES, TRIM
 PACKAGES, LIGHTING, FIXTURES, AND ROOFING
 ARE TO BE DETERMINED BY THE HOMEOWNER

ALL ENGINEERED FLOORING, BEAMS, TRUSSES, AND STEEL TO BE VERIFIED THROUGH MANUFACTURER, DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE WILL BE PROVIDED FOR ON SITE CONSULTATION DURING INSPECTIONS. SUPPLIERS WITH ENGINEERED FLOORING SYSTEMS, ROOF SYSTEMS, LVL BEAMS, STEEL BEAMS, OR OTHER SYSTEMS THAT HAVE BEEN SPECIFIED MAY BE SUBSTITUTED FOR THE CONTENTS HEREIN AS LONG AS ENGINEERED DOCUMENTATION IS PROVIDED.

IF CRAWL SPACE HAS ANY FUEL GAS APPLIANCES PRESENT OR IS TO BE USED AS STORAGE THEN THE BOTTOMS OF THE FLOORS MUST BE COVERED WITH EITHER FIRE RATED DRYWALL, OR FIRE RATED SHEATHING, OR SPRINKLERED

*** PRESCRIPTIVE METHOD ***
*** USED IN THIS PLAN SET ***
 CLIMATE ZONE FOUR (4)

SHEET NUMBER
A-2

PROPOSED SECOND FLOOR PLAN	
RED OAK PROPERTIES	
CHANGE LEGEND	
PLAN TYPE: FINAL PLANS	1/8 / 8 / 28 / 2020
COMPLETION DATE: OCTOBER 1, 2020	2/8 / 9 / 17 / 2020
SCALE: 1/4" = 1'-0" ARCHITECTURAL	3/8 / 10 / 1 / 2020

OWNER & PROPERTY ADDRESS
 MAIL: RED OAK PROPERTIES
 28589 Bick Row Drive
 Oxford, MD 21654

PROPERTY:
 ZONING & SETBACK REQUIREMENTS

NOTES:
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 ALL FOUNDATIONS ARE TO BE TWO COAT PARGE UNLESS OTHERWISE NOTED.
 ALL FOOTING MATERIALS AND LOCATIONS ARE TO BE AS SHOWN ON THE FOUNDATION SCHEDULES AND TO BE IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT.
 ALL MEASUREMENTS AND LOCATIONS ARE AS ACCURATE AS POSSIBLE GREEN EXISTING CONDITIONS AND THE ENCLOSED NATURE OF THE EXISTING STRUCTURES.
 ALL FRAMING MEMBERS THAT ARE EXISTING AND LOCATED BY THEIR APPROXIMATE LOCATION # 8 SHOWN ON FRAMING SCHEDULES HAVE BEEN FOLLOWED AND HAVE BEEN REPRESENTED AS CLOSELY AS POSSIBLE. IF VISUAL CONTACT HAS BEEN ESTABLISHED OTHERWISE NORMAL FRAMING PRACTICES WILL BE FOLLOWED.
 ALL NEW FRAMING MEMBERS ARE TO MEET OR EXCEED IRC CODE AND LOCATED IN OPTIMAL POSITIONS FOR LOADS AND REASONS. ADJUSTMENTS WILL NEED TO BE MADE DEPENDING ON PREEXISTING FRAMING LOCATIONS.
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Michael Franklin Clark
 CEO / MANAGER - PRINCIPAL DESIGNER

Wendy McGrane Clark
 CFO / OFFICE MANAGER

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PLAN AHEAD DRAFTING & DESIGN, LLC
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