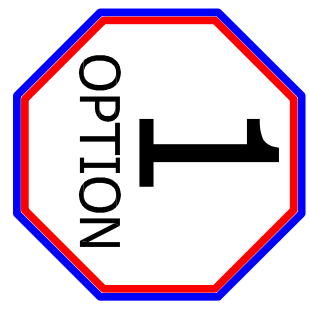


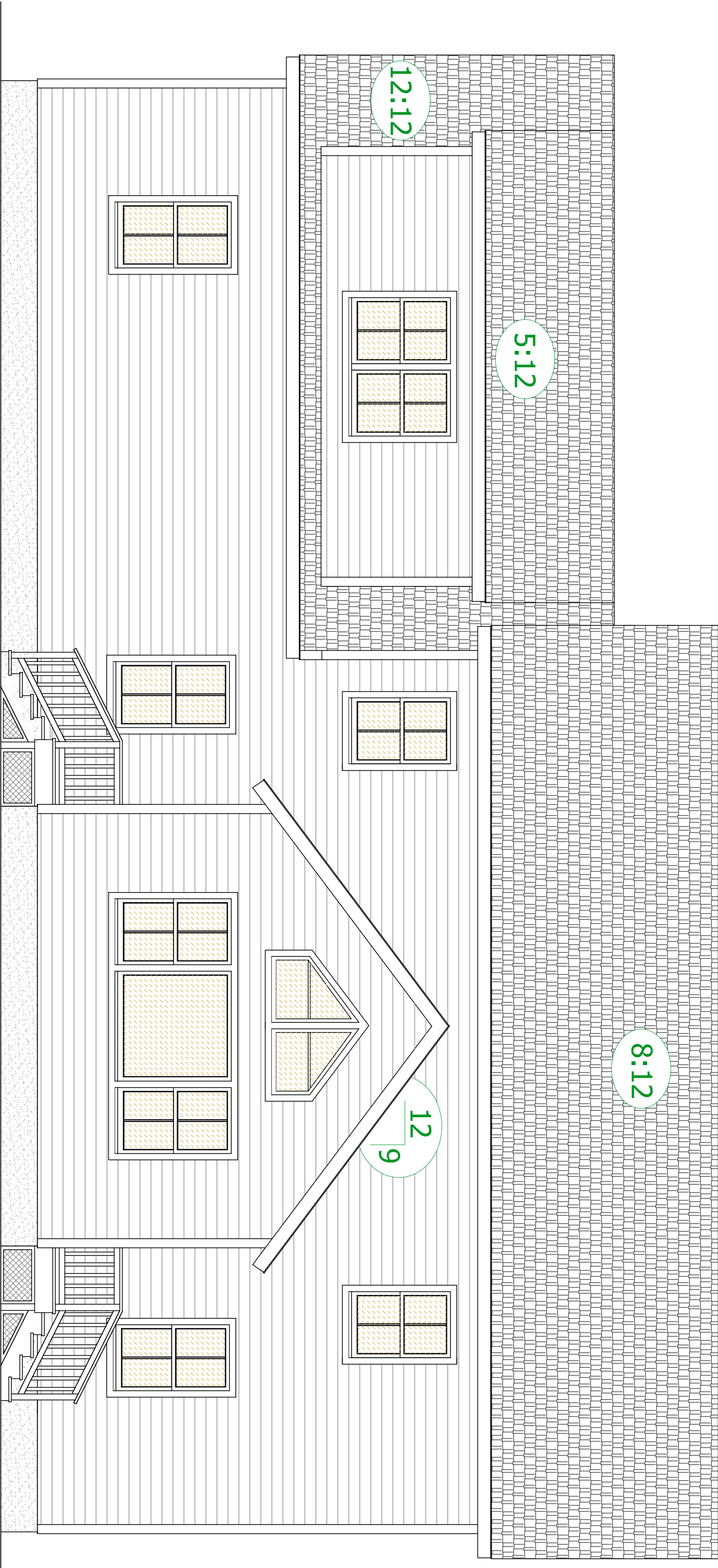
FRONT ELEVATION



ORIGINAL LAYOUT
3 BEDROOM WITH BONUS ROOM
BACK STAIRCASE
FAMILY ROOM LARGE WINDOWS
PARGED FOUNDATION & PORCHES WITH COMPOSITE DECKING
RIGHT HAND STAIR LAYOUT
BOARD & BATTEN MID SECTION
HORIZONTAL SIDING FAMILY ROOM
CONDITIONED CRAWL SPACE



REAR ELEVATION



REAR ELEVATION



NOT RESPONSIBLE FOR:
 PERMITTING AGENCY
 BUILDING CODE AGENCY
 1001.2020
 AT THIS POINT IN THE PLANNING PROCESS

ANY QUESTIONS ABOUT THESE PLANS NEED TO BE FORWARDED TO
 PLAN AHEAD DRAFTING & DESIGN LLC @ 410-822-3447
 WWW.PLANAHEADDRAFTING.COM

ALL OTHER PLANS RECEIVING THIS DATE ARE NOT VALID AND YOU ARE SHOULD BE DISREGARDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURES. ANY ERRORS OR DISCREPANCIES FROM ANY PREVIOUSLY DATED PLAN SETS, ANY CHANGES OR REGULATIONS FROM THIS PLAN SET MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN LLC AND THE LOCAL PLANNING & PERMIT OFFICE.

ALL PLANS SETS ARE GUARANTEED FOR 90 DAYS FROM THE DATE ON THE "FINAL" WITHIN THOSE 90 DAYS WILL BE CORRECTED AT NO CHARGE. ANY OMISSIONS, CODE CHANGES, CONTRACTOR CHANGES AFTER THAT DATE WILL BE THE RESPONSIBILITY OF THE HOMEOWNER AND WILL BE DONE AT THE EXPENSE OF THE HOMEOWNER.

ALL PHASES OF THE CONSTRUCTION PROCESS MUST FOLLOW THE ICC/IBC 2015 BUILDING CODES OR THE MOST CURRENT IBC OR MUST FOLLOW THE MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES. EACH ENTRY - MASONRY, FRAMING CODE SPECIFIC AND THOSE ENTRIES CODES MUST BE FOLLOWED WHEN IT DIFFERS THAN THOSE ITEMS REFLECTED IN THIS DRAWING SET. ANY DISCREPANCIES NEED TO BE BROUGHT TO OUR ATTENTION ASAP TO AVOID LATER ISSUES AND ALLOW FOR ATTENTION AND IS BUILT BY THE DRAWINGS AND NOT BY THE APPLICABLE CODES OR MANUFACTURERS RECOMMENDATIONS AUTOMATICALLY VOID AND nullifies ANY FUTURE MITIGATION FOR SUCH ITEMS.

- STRUCTURAL WOOD BEAMS SHALL BE NO. 1, NO. 2 SPOUCE-PINE-FIR TO THE FOLLOWING MINIMUM PROPERTIES:
 C = 1000 psi
 Fv = 135 psi E = 1400000 psi
- SECURE MULTIPLE WOOD MEMBERS TOGETHER WITH (2) ROWS OF 16d COMMON NAILS AT 12" O/C. USE GALVANIZED NAILS FOR ALL EXTERIOR BEAMS. Fc = 2510 psi
- MICROLAM LVL BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
 Fc = 769 psi
 Fv = 385 psi E = 1390000 psi
- SECURE MULTIPLE MICROLAM LVL MEMBERS TOGETHER WITH (2) ROWS OF TRUSSLOK SCREWS AT 12" O/C FOR MEMBERS 11 7/8" AND SHALLOWER. FOR MEMBERS DEEPER THAN 11 7/8" USE (3) ROWS OF TRUSSLOK SCREWS AT 12" O/C.
- SECURE MULTIPLE END STUDS TOGETHER WITH 16d COMMON NAILS AT 8" O/C STAGGERED EACH PLY.
- ALL BEARING STUDS AND POSTS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR TO TRANSFER MEMBERS AT LOWER DEPTH OF FLOOR AS REQUIRED.

INSULATION TO BE USED:
 EXTERIOR WALLS R-20
 CRAWL SPACE WALLS R-15
 OR FIRST FLOOR R-30
 CEILING/ROOF R-49
 INSULATION METHOD MAY BE:
 FOAM - OPEN OR CLOSED CELL
 FLASH AND BATT OR BATT INSULATION

WALL CONSTRUCTION:
 EXTERIOR 2 x 6 # 2 SPF
 INTERIOR 2 x 4 # 2 SPF
 1" INTERIOR DRYWALL
 7/16" ZIP" EXTERIOR SHEATHING
 5/8" TYPE 'X' FOR FIRE WALLS & CEILING

TYVEK TYPE VAPOR BARRIER
 SIDING, WINDOWS, DOORS, FINISHES, TRIM
 PACKAGES, LIGHTING, FIXTURES, AND ROOFING
 ARE TO BE DETERMINED BY THE HOMEOWNER

ALL ENGINEERED FLOORING BEAMS, TRUSSES, AND STEEL TO BE VERIFIED THROUGH MANUFACTURERS AND CONTRACTOR. ALL DIMENSIONS WILL BE PROVIDED FOR ON SITE CONSULTATION DURING INSPECTIONS. SUPPLIERS WITH ENGINEERED FLOORING SYSTEMS, ROOF SYSTEMS, LVL BEAMS, STEEL BEAMS, OR OTHER SYSTEMS THAT HAVE BEEN SPECIFIED MAY BE SUBSTITUTED FOR THE CONTENTS HEREIN AS LONG AS ENGINEERED DOCUMENTATION IS PROVIDED.

IF CRAWL SPACE HAS ANY PUELS GAS APPLIANCES PRESENT OR IS TO BE USED AS STORAGE THEN THE BOTTOMS OF THE JOISTS MUST BE COVERED WITH EITHER FIRE RATED DRYWALL, OR FIRE RATED SHEATHING, OR SPRINKLERED.

*** PRESCRIPTIVE METHOD ***
*** USED IN THIS PLAN SET ***
 CLIMATE ZONE FOUR (4)

SHEET NUMBER

E-1

PROPOSED ELEVATIONS

RED OAK PROPERTIES

PLAN TYPE: FINAL PLANS
 COMPLETION DATE: SEPT. 17, 2020
 SCALE: 1/4" = 1'-0" ARCHITECTURAL

CHANGE LEGEND	
1	8 / 28 / 2020
2	9 / 17 / 2020
3	10 / 1 / 2020

OWNER & PROPERTY ADDRESS

MAIL: RED OAK PROPERTIES
 28589 Bick Row Drive
 Oxford, MD 21654

PROPERTY:

ZONING & SETBACK REQUIREMENTS

NOTES:

ALL DIMENSIONS ARE AS ACCURATE AS POSSIBLE CONSIDERING PREEXISTING CONDITIONS UNLESS THE PROJECT IS COMPLETELY NEW CONSTRUCTION. ONLY THE NEW CONSTRUCTION FULLY DIMENSIONED AND DETAIL ACCURATE ON THESE PLANS WITH RESPECT TO PREEXISTING CONDITIONS. ALL DIMENSIONS ARE TAKEN FROM THE OUTSIDE OF THE EXTERIOR SHEATHING TO CENTERLINE OF INTERIOR STUD WALLS UNLESS OTHERWISE NOTED. ALL NEW EXTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.

ALL NEW EXTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.

ALL NEW EXTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.

ALL EXTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.

ALL INTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.

ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, THE DETAILS AND FINISHES ON ANY NEW ADDITIONS ARE TO MATCH THOSE OF ADJACENT EXISTING STRUCTURES OR IF THEIR REPLACEMENTS ARE NOT AVAILABLE TO MAINTAIN A MINIMUM DEPTH OF 2" BELOW THE FINISHED GRADE.

ALL FOOTERS MUST MAINTAIN A MINIMUM DEPTH OF 24" BELOW THE FINISHED GRADE.

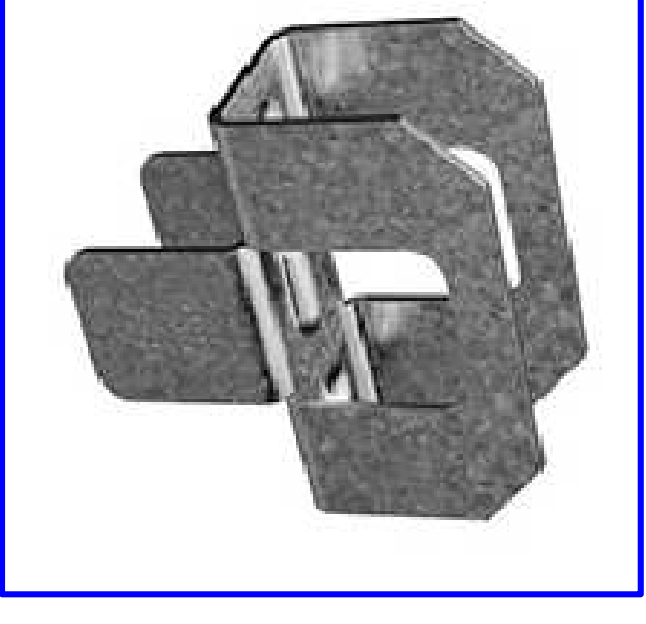
ALL FOUNDATION WALLS ARE TO BE TWO COAT PARGE UNLESS OTHERWISE NOTED.

ALL MEASUREMENTS AND LOCATIONS ARE AS ACCURATE AS POSSIBLE GIVEN EXISTING CONDITIONS AND THE ENCLOSED NATURE OF THE EXISTING STRUCTURES.

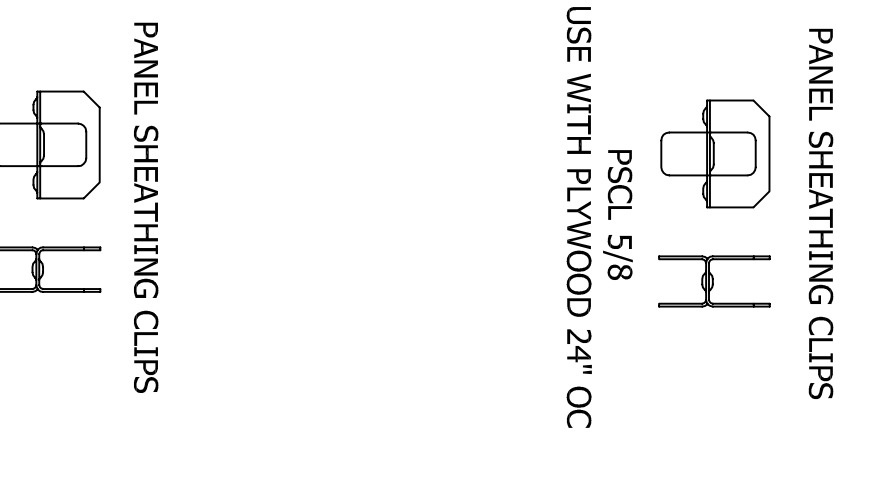
ALL FRAMING MEMBERS THAT ARE EXISTING ARE LOCATED BY THEIR APPROXIMATE POSITION BY SHADING FRAMING TO BE REMOVED AND HAVE BEEN IDENTIFIED AS CLOSELY AS POSSIBLE. IF VISUAL CONTACT HAS BEEN ESTABLISHED OTHERWISE NORMAL FRAMING PRACTICES WILL BE OBSERVED.

ALL NEW FRAMING MEMBERS ARE TO MEET OR EXCEED IBC CODE AND LOCATED IN OPTIMAL POSITIONS FOR LOADS AND RESERVE. ADJUSTMENTS WILL NEED TO BE MADE DEPENDING ON PREEXISTING FRAMING CONDITIONS.

THE CONTRACTOR ULTIMATELY HAS THE LAST DETERMINATION OF EXISTING CONDITIONS AND FRAMING METHODOLOGY USED IN BOTH NEW AND REMODELING CONSTRUCTION. THE FINAL FRAMING DECISIONS MUST BE MADE IN ACCORDANCE WITH MINIMUM IBC CODES AND SAFETY REGULATIONS GREATER. ALL PREEXISTING CONDITIONS MAY HAVE NOT BEEN ABLE TO BE SEEN PRIOR TO DEMOLITION AND THEREFORE MUST BE ALLOWED FOR AND TAKEN INTO ACCOUNT UPON COMMENCEMENT OF CONSTRUCTION.



STANDING SEAM METAL ROOFING
 AND
 35 YEAR ARCHITECTURAL GRADE
 ASPHALT SHINGLES OVER 30# FELT
 * PREFERRED * 1/2" ZIP" ROOF SHEATHING IF 16" OC * PREFERRED *
 5/8" ZIP" ROOF SHEATHING IF 24" OC
 PANEL SHEATHING CLIPS
 * PREFERRED * 1/2" ZIP" ROOF SHEATHING IF 16" OC * NOT NEEDED * * PREFERRED *
 UNLESS SHEATHING IS LESS THAN 24" IN WIDTH THEN ONE CLIP
 IS REQUIRED IN EACH BAY
 PSCl 1/2 CLIPS USE WITH 1/2" PLYWOOD WHEN @ 24" OC
 PSCl 5/8 CLIPS USE WITH 5/8" PLYWOOD WHEN @ 24" OC
 ICE & WATER SHIELD IN ALL
 VALLEYS & BOTTOM 36" OF ROOF



PANEL SHEATHING CLIPS
 USE WITH PLYWOOD 24" OC
 PSCl 1/2
 NOT NEEDED @ 16" OC
 UNLESS SHEATHING IS LESS THAN
 24" IN WIDTH THEN ONE CLIP
 IS REQUIRED IN EACH BAY

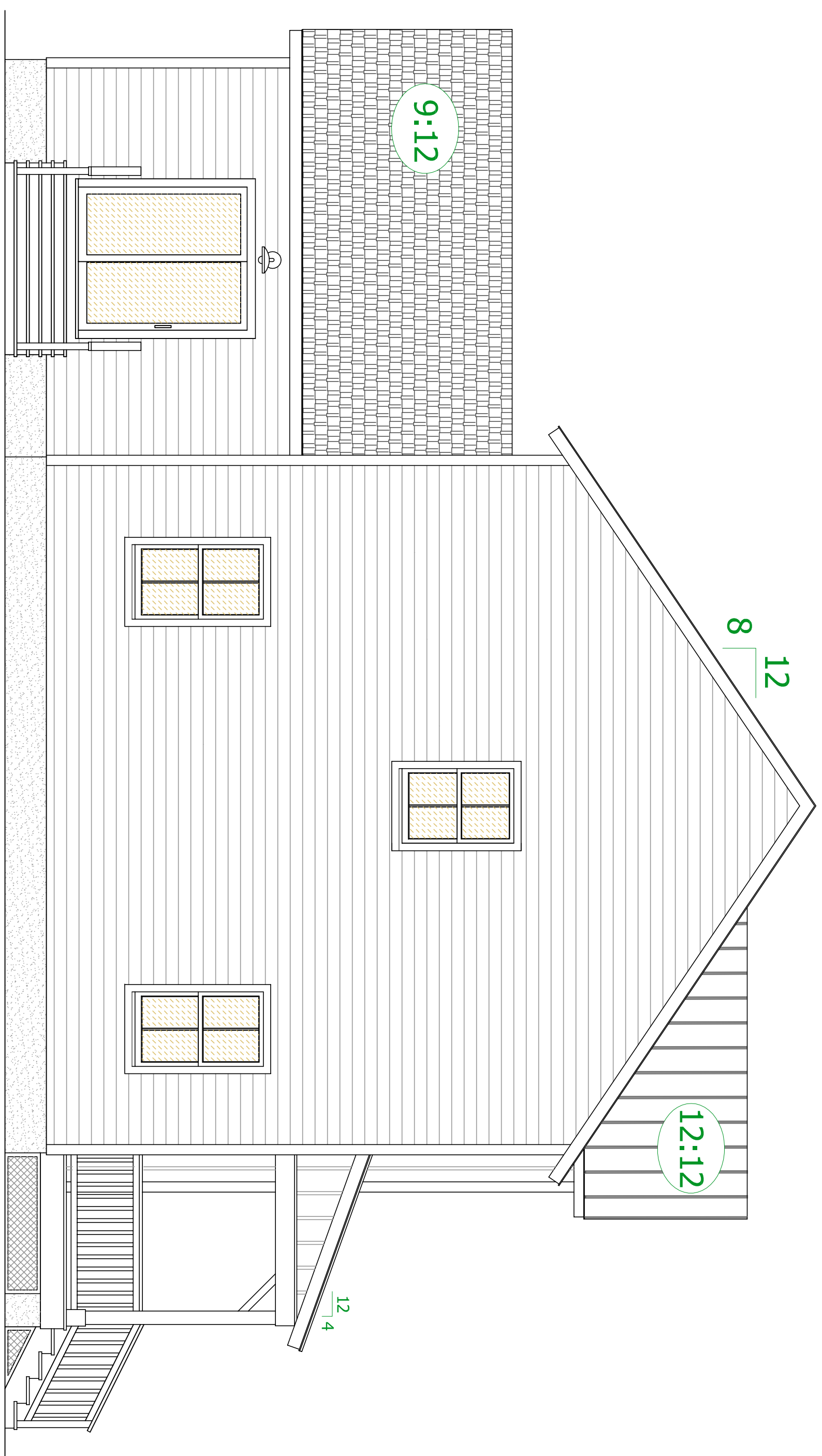
PLAN AHEAD DRAFTING & DESIGN LLC
 RESIDENTIAL DESIGN SPECIALIST

9 CHOPTANK AVENUE
 EASTON, MD 21601-4032
 PHONE: 410-822-3447 FAX 410-822-3927
 E-MAIL: planaheaddrafting@msn.com
 ON THE WEB @ : www.planaheaddrafting.com

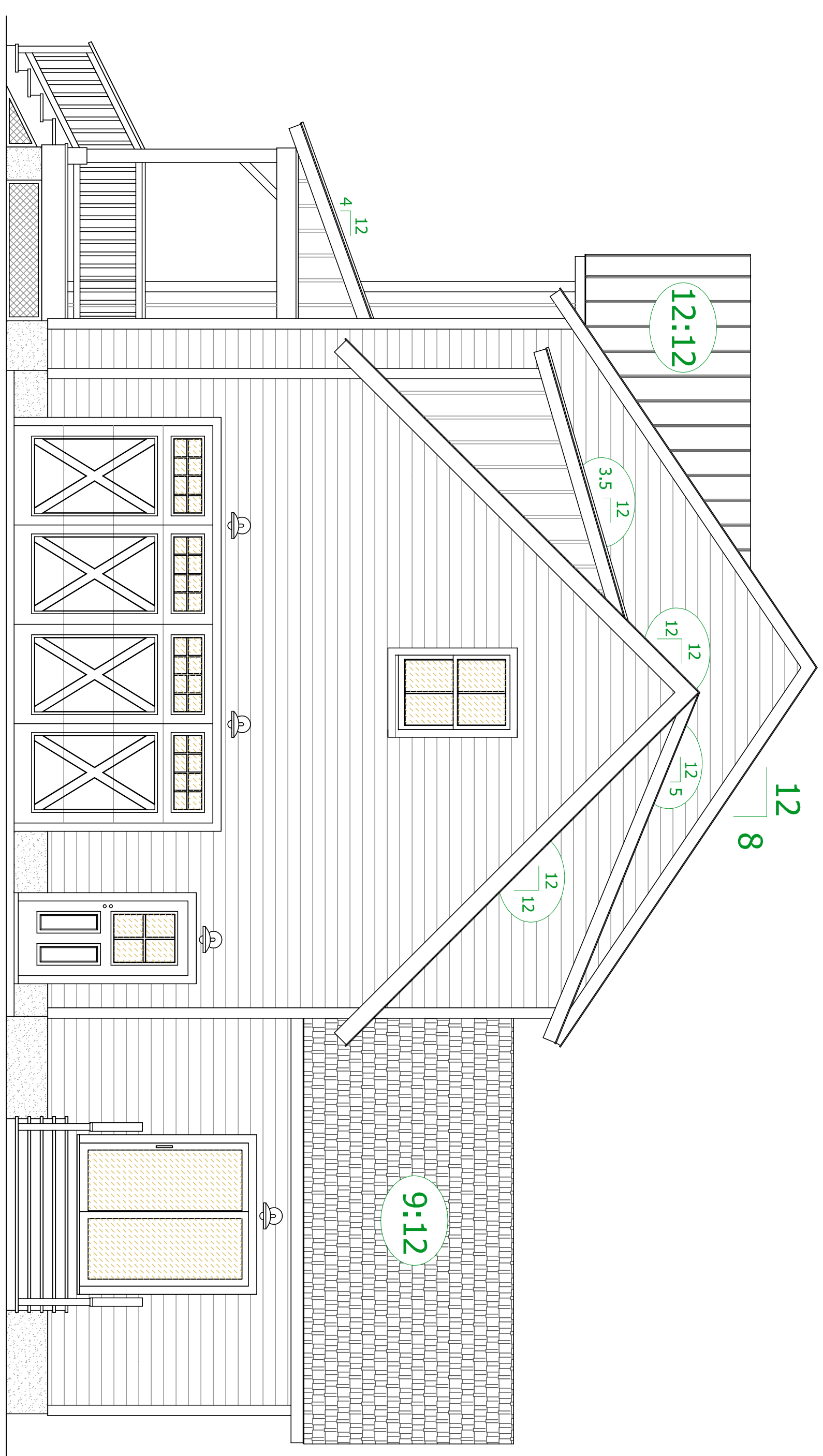
Michael Franklin Clark
 CEO / MANAGER - PRINCIPAL DESIGNER

Wendy McGrane Clark
 CFO / OFFICE MANAGER

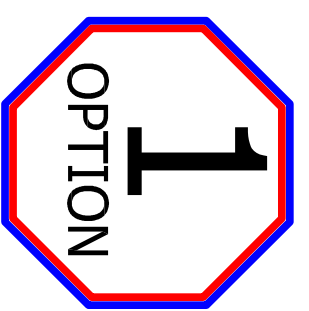
* YOUR HIGH QUALITY AFFORDABLE DESIGN ALTERNATIVE *



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



- ORIGINAL LAYOUT**
- 3 BEDROOM WITH BONUS ROOM
 - BACK STAIRCASE
 - FAMILY ROOM LARGE WINDOWS
 - PARGED FOUNDATION & PORCHES WITH COMPOSITE DECKING
 - RIGHT HAND STAIR LAYOUT
 - BOARD & BATTEN MID SECTION
 - HORIZONTAL SIDING FAMILY ROOM
 - HORIZONTAL SIDING
 - PORCH WITH RAILINGS
- CONDITIONED CRAWL SPACE**

- STANDING SEAM METAL ROOFING
AND
35 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES OVER 30# FELT
- * PREFERRED * 1/2" "ZIP" ROOF SHEATHING JF 16" OC * PREFERRED * 5/8" "ZIP" ROOF SHEATHING JF 24" OC
- * PREFERRED * 1/2" "ZIP" ROOF SHEATHING JF 16" OC * NOT NEEDED * PREFERRED * UNLESS SHEETING IS LESS THAN 24" IN WIDTH THEN ONE CLIP IS REQUIRED IN EACH BAY
- PSCL 1/2 CLIPS USE WITH 1/2" PLYWOOD WHEN @ 24" OC
- PSCL 5/8 CLIPS USE WITH 5/8" PLYWOOD WHEN @ 24" OC
- ICE & WATER SHIELD IN ALL VALLEYS & BOTTOM 36" OF ROOF



NOT RESPONSIBLE FOR:
PERMITTING/COMPLIANCE
BUILDING CODE ADOPTANCE
1001.2020
AT THIS POINT IN THE PLANNING PROCESS

ANY QUESTIONS ABOUT THESE PLANS NEED TO BE FORWARDED TO
PLAN AHEAD DRAFTING & DESIGN LLC @ 410-822-3447
WHEN@PLANAHEDDRAFTING.COM

ALL OTHER PLANS REGARDING THIS DATE ARE NULL AND VOID AND SHOULD BE DISREGARDED. ANY CHANGES TO THESE PLANS MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN LLC AND THE LOCAL PLANNING & PERMIT OFFICE.

ANY CHANGES OR NEGOTIATIONS FROM THIS PLAN SET MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN LLC AND THE LOCAL PLANNING & PERMIT OFFICE.

ALL PLAN SETS ARE GUARANTEED FOR 60 DAYS FROM THE DATE ON THE "FINAL" WITHIN THOSE 60 DAYS WILL BE CORRECTED AT NO CHARGE. ANY OMISSIONS, CODE CHANGES, CONTRACTOR CHANGES AFTER THAT DATE WILL BE THE RESPONSIBILITY OF THE HOMEOWNER AND WILL BE DONE AT THE EXPENSE OF THE HOMEOWNER.

ALL STRUCTURAL CHANGES MUST BE ENGINEER APPROVED. ANY CHANGES / DEVIATIONS FROM THESE PLANS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER. HOMEOWNER/CONTRACTOR/ENGINEER RESPONSIBILITY OF DESIGN OR ISSUES WILL BE THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR AND WILL BE DONE AT THEIR EXPENSE.

ALL PHASES OF THE CONSTRUCTION PROCESS MUST FOLLOW THE ICCIRC 2015 BUILDING CODES OR THE MOST CURRENT A/C OR MUST FOLLOW THE MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES. EACH BRITTY - MASONRY, FRAMING OR OTHER TRADES MUST BE COMPLETED AND INSPECTED BEFORE THE NEXT TRADE BEGINS. CONTRACTOR CHANGES AFTER THAT DATE WILL BE THE RESPONSIBILITY OF THE HOMEOWNER AND WILL BE DONE AT THE EXPENSE OF THE HOMEOWNER.

BE BROUGHT TO OUR ATTENTION ASAP TO AVOID LATER ISSUES AND ALLOW FOR ATTENTION AND IS BUILT BY THE DRAWINGS AND NOT BY THE APPLICABLE CODES OR MANUFACTURERS RECOMMENDATIONS AUTOMATICALLY VOIDS AND nullifies ANY FUTURE INTENTION FOR SUCH ITEMS.

- STRUCTURAL WOOD BEAMS SHALL BE NO.1,INO.2, SPOUCE-PINE-FIR WITH THE FOLLOWING MINIMUM PROPERTIES:
Fv = 135 psi E = 1400000 psi
- SECURE MULTIPLE WOOD MEMBERS TOGETHER WITH (2) ROWS OF 16d COMMON NAILS AT 12" O/C. USE GALVANIZED NAILS FOR ALL EXTERIOR BEAMS. Fc = 2510 psi
- MICROLAM LVL BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
Fv = 285 psi E = 1960000 psi
- SECURE MULTIPLE MICROLAM LVL MEMBERS TOGETHER WITH (2) ROWS OF TRUSSLOK SCREWS AT 12" O/C FOR MEMBERS 11.718" AND SMALLER. FOR MEMBERS DEEPER THAN 11.718" USE (3) ROWS OF TRUSSLOK SCREWS AT 12" O/C.
- SECURE MULTIPLE END STUDS TOGETHER WITH 16d COMMON NAILS AT 8" O/C STAGGERED EACH PLY.
- ALL BEARING STUDS AND POSTS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR TO TRANSFER MEMBERS AT LOWER DEPTH OF FLOOR AS REQUIRED.

INSULATION TO BE USED:

EXTERIOR WALLS R-20
CRAWL SPACE WALLS R-15
OR FIRST FLOOR R-30
CEILING/ROOF R-49
INSULATION METHOD MAY BE:
FOAM - OPEN OR CLOSED CELL
FLASH AND BATT OR BATT INSULATION

WALL CONSTRUCTION:
EXTERIOR 2 x 6 # 2 SPF
INTERIOR 2 x 4 # 2 SPF
1" INTERIOR DRYWALL
7/4" ZIP" EXTERIOR SHEATHING
5/8" TYPE "X" FOR FINE WALLS & CEILING

TYVEK TYPE VAPOR BARRIER
SIDING, WINDOWS, DOORS, FINISHES, TRIM
PACKAGES, LIGHTING, FIXTURES, AND ROOFING
ARE TO BE DETERMINED BY THE HOMEOWNER

ALL ENGINEERED FLOORING BEAMS, TRUSSES, AND STEEL TO BE VERIFIED THROUGH MANUFACTURERS' AND CONSULTING ENGINEER'S WEBSITE. ALL DIMENSIONS ARE TAKEN FROM THE OUTSIDE OF THE EXTERIOR SHEATHING TO CENTERLINE OF INTERIOR STUD WALLS UNLESS OTHERWISE NOTED. ALL NEW EXTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.

IF CRAWL SPACE HAS ANY FUEL GAS APPLIANCES PRESENT OR IS TO BE USED AS STORAGE THEN THE BOTTOMS OF THE JOISTS MUST BE COVERED WITH EITHER FIRE RATED DRYWALL, OR FIRE RATED SHEATHING, OR SPRINKLERED PROVIDED.

- * PRESCRIPTIVE METHOD *
- * USED IN THIS PLAN SET *
- CLIMATE ZONE FOUR (4)

SHEET NUMBER

E-2

PROPOSED ELEVATIONS

RED OAK PROPERTIES

PLAN TYPE: FINAL PLANS
COMPLETION DATE: SEPT. 17, 2020
SCALE: 1/4" = 1'-0" ARCHITECTURAL

CHANGE LEGEND	
1	8 / 28 / 2020
2	9 / 17 / 2020
3	10 / 1 / 2020

OWNER & PROPERTY ADDRESS

MAIL: RED OAK PROPERTIES
28589 Brick Row Drive
Oxford, MD 21654

PROPERTY:

ZONING & SETBACK REQUIREMENTS

NOTES:

ALL DIMENSIONS ARE AS ACCURATE AS POSSIBLE CONSIDERING PREEXISTING CONDITIONS UNLESS THE PROJECT IS COMPLETELY NEW CONSTRUCTION. ONLY THE NEW CONSTRUCTION FULLY DIMENSIONED AND DETAILED TOTALLY ACCURATE ON THESE PLANS WITH RESPECT TO PREEXISTING CONDITIONS. ALL DIMENSIONS ARE TAKEN FROM THE OUTSIDE OF THE EXTERIOR SHEATHING TO CENTERLINE OF INTERIOR STUD WALLS UNLESS OTHERWISE NOTED. ALL NEW EXTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.

ALL INTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.

ALL WINDOWS AND DOORS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.

ALL EXTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.

ALL INTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.

ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, THE DETAILS AND FINISHES ON ANY NEW ADDITIONS ARE TO MATCH THOSE OF ADJACENT EXISTING STRUCTURES OR OF THEIR REPLACEMENTS.

ALL FOOTERS MUST MAINTAIN A MINIMUM DEPTH OF 24" BELOW THE FINISHED GRADE.

ALL FOUNDATION WALLS ARE TO BE TWO COAT PARGE UNLESS OTHERWISE NOTED.

ALL FOUNDATION WALLS ARE TO BE TWO COAT PARGE UNLESS OTHERWISE NOTED.

ALL MEASUREMENTS AND LOCATIONS ARE AS ACCURATE AS POSSIBLE GREEN EXISTING CONDITIONS AND THE ENCLOSED NATURE OF THE EXISTING STRUCTURES.

ALL FRAMING MEMBERS THAT ARE EXISTING ARE LOCATED BY THEIR APPROXIMATE LOCATION BY STAGGING FRAMING METHODS HAVE BEEN FOLLOWED AND HAVE BEEN REPRESENTED AS CLOSELY AS POSSIBLE. IF VISUAL CONTACT HAS BEEN ESTABLISHED OTHERWISE NORMAL FRAMING PRACTICES WILL BE SHOWN.

ALL NEW FRAMING MEMBERS ARE TO BE SET OR EXCEED IRC CODE AND LOCATED IN OPTIMAL POSITIONS FOR LOADS AND BEARING. ADJUSTMENTS WILL NEED TO BE MADE DEPENDING ON PREEXISTING FRAMING LOCATIONS.

THE CONTRACTOR IS TO MAKE THE LAST DETERMINATION OF EXISTING CONDITIONS AND FRAMING METHODOLOGY USED IN BOTH NEW AND REMODELING CONSTRUCTION. THE FINAL FRAMING DECISIONS MUST BE MADE IN ACCORDANCE WITH MINIMUM IRC CODES AND SAFETY REGULATIONS GREATER. ALL PREEXISTING CONDITIONS MAY HAVE NOT BEEN ABLE TO BE SEEN PRIOR TO DEMOLITION AND THEREFORE MUST BE ALLOWED FOR AND TAKEN INTO ACCOUNT UPON COMMENCEMENT OF CONSTRUCTION.

Michael Franklin Clark
CEO / MANAGER - PRINCIPAL DESIGNER

Wendy McGrane Clark
CFO / OFFICE MANAGER

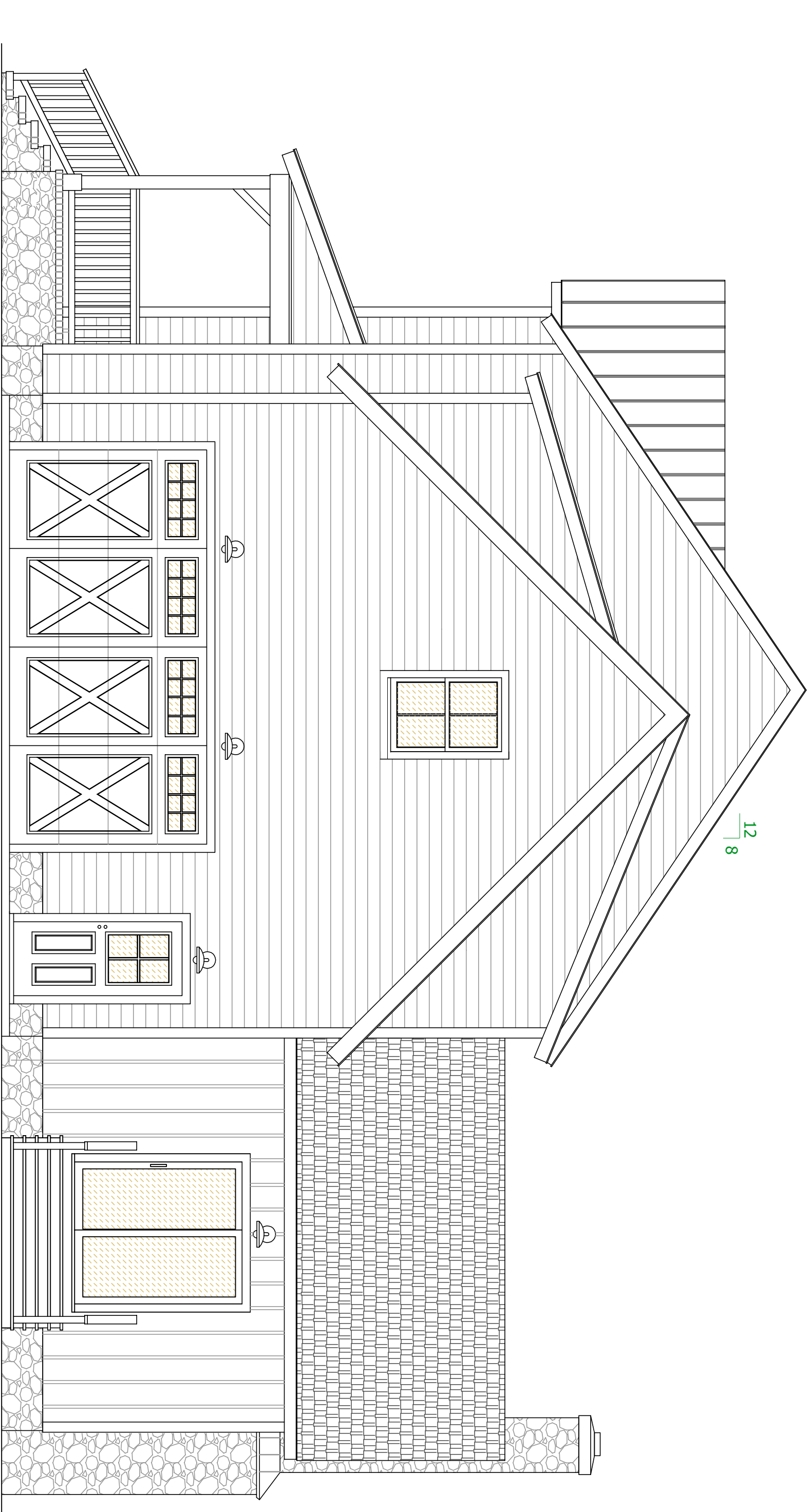
* YOUR HIGH QUALITY AFFORDABLE DESIGN ALTERNATIVE *

PLAN AHEAD DRAFTING & DESIGN LLC
RESIDENTIAL DESIGN SPECIALIST

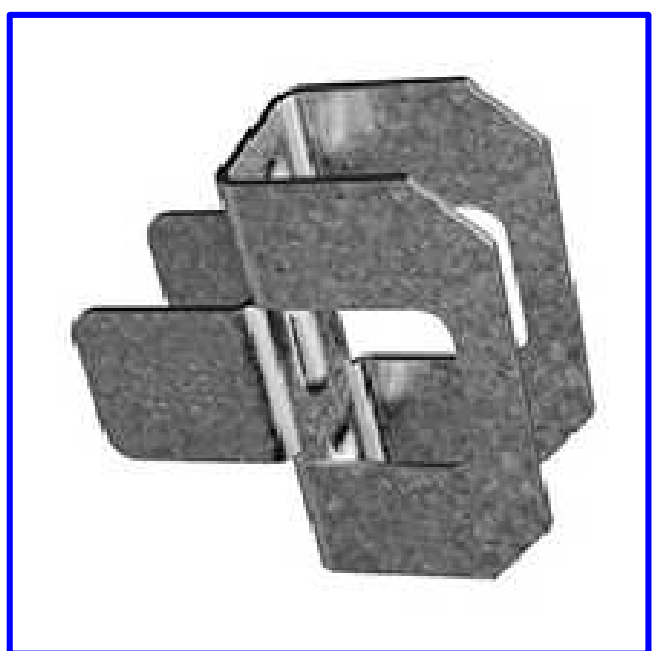
9 CHOPTANK AVENUE
EASTON, MD 21601-4032
PHONE: 410-822-3447 FAX 410-822-3927
E-MAIL: planaheaddrafting@msn.com
ON THE WEB @ : www.planaheaddrafting.com



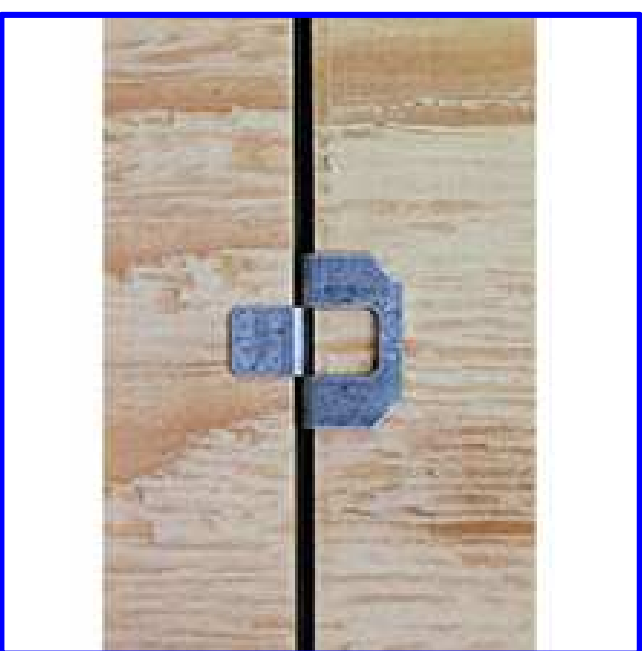
FRONT ELEVATION



RIGHT SIDE ELEVATION



PANEL SHEATHING CLIPS
PSCl 5/8
USE WITH PLYWOOD 24" OC



PANEL SHEATHING CLIPS
PSCl 1/2
USE WITH PLYWOOD 24" OC
NOT NEEDED @ 16" OC
UNLESS SHEETING IS LESS THAN
24" IN WIDTH THEN ONE CLIP
IS REQUIRED IN EACH BAY



NOT RESPONSIBLE FOR:
PERMITTING AGENCY
BUILDING CODE AGENCY
10/01/2020
AT THIS POINT IN THE PLANNING PROCESS

ANY QUESTIONS ABOUT THESE PLANS NEED TO BE FORWARDED TO
PLAN AHEAD DRAFTING & DESIGN LLC @ 410-822-3447
WHEN@PLANHEADORIGINAL.COM

ALL OTHER PLANS RECEIVING THIS DATE ARE NULL AND VOID AND SHOULD BE DISREGARDED. THE HOMEOWNER HAS THE RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND LOCATIONS ARE AS SHOWN ON THESE PLANS. ANY CHANGES OR DISCREPANCIES FROM ANY PREVIOUSLY DATED PLAN SETS, ANY CHANGES OR DISCREPANCIES FROM THIS PLAN SET MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN LLC AND THE LOCAL PLANNING & PERMIT OFFICE.

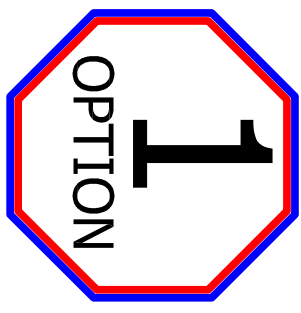
ALL PLAN SETS ARE GUARANTEED FOR 90 DAYS FROM THE DATE ON THE "FINAL" SHEET. ANY CHANGES OR DISCREPANCIES FROM ANY PREVIOUSLY DATED PLAN SETS, ANY CHANGES OR DISCREPANCIES FROM THIS PLAN SET MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN LLC AND THE LOCAL PLANNING & PERMIT OFFICE.

ALL STRUCTURAL CHANGES MUST BE ENGINEER APPROVED. ANY CHANGES/DEVIATIONS FROM THESE PLANS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER/HOMEOWNER'S CONTRACTOR. ENGINEERING CONSULTANTS OR DESIGNERS OF ISSUES CONCERNING FOUNDATION, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, OR HVAC WILL BE THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR AND WILL BE DONE AT THEIR EXPENSE.

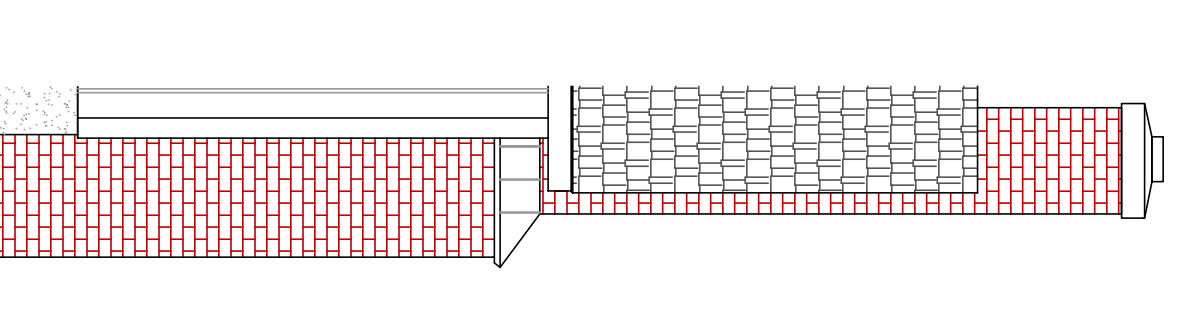
ALL PHASES OF THE CONSTRUCTION PROCESS MUST FOLLOW THE ICC-IBC 2015 BUILDING CODES OR THE MOST CURRENT IBC. MUST FOLLOW THE MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES. EACH ENTRY - MASONRY, FRAMING OR OTHER MATERIALS MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S CODE SPECIFIC AND THOSE ENTITIES' CODES MUST BE FOLLOWED WHEN IF DIFFERENT THAN THOSE ITEMS REFLECTED IN THIS DRAWING SET. ANY DISCREPANCIES NEED TO BE BROUGHT TO OUR ATTENTION ASAP TO AVOID LATER ISSUES AND ALLOW FOR CORRECTIONS TO BE MADE PRIOR TO CONSTRUCTION. ALL DIMENSIONS AND LOCATIONS ARE TO BE KEPT OR EXCEED IBC CODE AND LOCATED IN OPTIMAL POSITIONS FOR LOADS AND REBARING. ADJUSTMENTS WILL NEED TO BE MADE DEPENDING ON PREEXISTING FRAMING LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS. THE CONTRACTOR SHALL HAVE THE LAST DETERMINATION OF EXISTING CONDITIONS AND FRAMING METHODOLOGY USED IN BOTH NEW AND REMODELING CONSTRUCTION. THE FINAL FRAMING DECISIONS MUST BE MADE IN ACCORDANCE WITH MINIMUM IBC CODES AND SAFETY REGULATIONS GREATER. ALL PREEXISTING CONDITIONS MAY HAVE NOT BEEN ABLE TO BE SEEN PRIOR TO DEMOLITION AND THEREFORE MUST BE ALLOWED FOR AND TAKEN INTO ACCOUNT UPON COMMENCEMENT OF CONSTRUCTION.

ORIGINAL LAYOUT
3 BEDROOM WITH BONUS ROOM
BACK STAIRCASE
FAMILY ROOM LARGE WINDOWS
STONE FOUNDATION & CONCRETE PORCHES WITH BLUESTONE IF STONE FIREPLACE
RIGHT HAND STAIR LAYOUT
BOARD & BATTEN GABLE ONLY BOARD & BATTEN FAMILY ROOM
HORIZONTAL SIDING
PORCH WITH RAILINGS

CONDITIONED CRAWL SPACE



- STANDING SEAM METAL ROOFING AND ASPHALT SHINGLES OVER 30# FELT
- * PREFERRED * 1/2" "ZIP" ROOF SHEATHING IF 16" OC * PREFERRED * 5/8" "ZIP" ROOF SHEATHING IF 24" OC
- PANEL SHEATHING CLIPS
- * PREFERRED * 1/2" "ZIP" ROOF SHEATHING IF 16" OC * NOT NEEDED * PREFERRED * UNLESS SHEETING IS LESS THAN 24" IN WIDTH THEN ONE CLIP IS REQUIRED IN EACH BAY
- PSCl 1/2 CLIPS USE WITH 1/2" PLYWOOD WHEN @ 24" OC
- PSCl 5/8 CLIPS USE WITH 5/8" PLYWOOD WHEN @ 24" OC
- ICE & WATER SHIELD IN ALL VALLEYS & BOTTOM 36" OF ROOF



- STRUCTURAL WOOD BEAMS SHALL BE NO.1,NO.2 SPOUCE-FINE-FIR OR OTHER APPROVED ALTERNATIVE TO BE DETERMINED BY THE ENGINEER.
Fv = 135 psf E = 1400000 psi
- SECURE MULTIPLE WOOD MEMBERS TOGETHER WITH (2) ROWS OF 16d COMMON NAILS AT 12" O/C. USE GALVANIZED NAILS FOR ALL EXTERIOR BEAMS. Fc = 2510 psf
- MICROLAM LVL BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
Fv = 769 psf E = 1960000 psi
Fv = 385 psf E = 1960000 psi
- SECURE MULTIPLE MICROLAM LVL MEMBERS TOGETHER WITH (2) ROWS OF TRISUXOK SCREWS AT 12" O/C FOR MEMBERS 11 7/8" AND SMALLER. FOR MEMBERS DEEPER THAN 11 7/8" USE (3) ROWS OF TRISUXOK SCREWS AT 12" O/C.
- SECURE MULTIPLE END STUDS TOGETHER WITH 16d COMMON NAILS AT 8" O/C STAGGERED EACH PLY.
- ALL BEARING STUDS AND POSTS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR TO TRANSFER MEMBERS AT LOWER DEPTH OF FLOOR AS REQUIRED.

INSULATION TO BE USED:
EXTERIOR WALLS R-20
CRAWL SPACE WALLS R-15
OR FIRST FLOOR R-30
CEILING/ROOF R-49
INSULATION METHOD MAY BE:
FOAM - OPEN OR CLOSED CELL
FLASH AND BATT OR BATT INSULATION

WALL CONSTRUCTION:
EXTERIOR 2 X 6 # 2 SPF
INTERIOR 2 X 4 # 2 SPF
1" INTERIOR DRYWALL
7/16" "ZIP" EXTERIOR SHEATHING
5/8" TYPE "X" FOR FIRE WALLS & CEILING

TYVEK TYPE VAPOR BARRIER
SIDING, WINDOWS, DOORS, FINISHES, TRIM
PACKAGES, LIGHTING, FIXTURES, AND ROOFING
ARE TO BE DETERMINED BY THE HOMEOWNER

ALL ENGINEERED FLOORING BEAMS, TRUSSES, AND STEEL TO BE VERIFIED THROUGH MANUFACTURERS' AND CONSULTING ENGINEER'S WEBSITE. ALL DIMENSIONS AND LOCATIONS ARE AS SHOWN ON THESE PLANS. ANY CHANGES OR DISCREPANCIES FROM ANY PREVIOUSLY DATED PLAN SETS, ANY CHANGES OR DISCREPANCIES FROM THIS PLAN SET MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN LLC AND THE LOCAL PLANNING & PERMIT OFFICE.

IF CRAWL SPACE HAS ANY PUELS GAS APPLIANCES PRESENT OR IS TO BE USED AS STORAGE THEN THE BOTTOMS OF THE JOISTS MUST BE COVERED WITH EITHER FIRE RATED DRYWALL, OR FIRE RATED SHEATHING, OR SPRINKLERED PROVIDE.

* PRESCRIPTIVE METHOD *
* USED IN THIS PLAN SET *
CLIMATE ZONE FOUR (4)

SHEET NUMBER
E-3

PROPOSED ELEVATIONS	
RED OAK PROPERTIES	
PLAN TYPE: FINAL PLANS	CHANGE LEGEND
COMPLETION DATE: SEPT. 17, 2020	<ul style="list-style-type: none"> 8 / 28 / 2020 9 / 17 / 2020 10 / 1 / 2020
SCALE: 3/4" = 1'-0" ARCHITECTURAL	

OWNER & PROPERTY ADDRESS
MAIL: RED OAK PROPERTIES
28569 Brick Row Drive
Oxford, MD 21554

PROPERTY:
ZONING & SETBACK REQUIREMENTS

NOTES:
ALL DIMENSIONS ARE AS ACCURATE AS POSSIBLE CONSIDERING PREEXISTING CONDITIONS UNLESS THE PROJECT IS COMPLETELY NEW CONSTRUCTION. ONLY TO THE NEW CONSTRUCTION FULLY DIMENSIONED AND DETAILED TOTALLY ACCURATE ON THESE PLANS WITH RESPECT TO PREEXISTING CONDITIONS. ALL DIMENSIONS ARE TAKEN FROM THE OUTSIDE OF THE EXTERIOR SHEATHING TO CENTERLINE OF INTERIOR STUD WALLS UNLESS OTHERWISE NOTED. ALL NEW EXTERIOR WALLS ARE TO BE 2 X 4 CONSTRUCTION UNLESS OTHERWISE NOTED.
ALL NEW INTERIOR WALLS ARE TO BE 2 X 4 CONSTRUCTION UNLESS OTHERWISE NOTED.
ALL WINDOWS AND DOORS ARE TO BE CONSIDERED NEW UNLESS MARKED RECYCLING/EXISTING ON THE WINDOW OR DOOR SCHEDULES.
ALL EXTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.
REPLACEMENTS:
ALL FOOTERS MUST MAINTAIN A MINIMUM DEPTH OF 24" BELOW THE FINISHED GRADE.
ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, TRIMS, AND FINISHES ON ANY NEW ADDITIONS ARE TO MATCH THOSE OF ADJACENT EXISTING STRUCTURES OR IF THERE ARE NO ADJACENT EXISTING STRUCTURES, THEY SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE.
ALL FOUNDATIONS SHALL BE TO TWO COAT PARALLEL UNLESS OTHERWISE NOTED.
ALL MEASUREMENTS AND LOCATIONS ARE AS ACCURATE AS POSSIBLE GIVEN EXISTING CONDITIONS AND THE ENCLOSED NATURE OF THE EXISTING STRUCTURES.
ALL FRAMING MEMBERS THAT ARE EXISTING ARE LOCATED BY THEIR APPROXIMATE LOCATIONS IF STANDARD FRAMING METHODS HAVE BEEN FOLLOWED AND HAVE BEEN REPRESENTED AS CLOSELY AS POSSIBLE. IF VISUAL CONTACT HAS BEEN ESTABLISHED OTHERWISE NORMAL FRAMING PRACTICES WILL BE SHOWN.
ALL NEW FRAMING MEMBERS ARE TO MEET OR EXCEED IBC CODE AND LOCATED IN OPTIMAL POSITIONS FOR LOADS AND REBARING. ADJUSTMENTS WILL NEED TO BE MADE DEPENDING ON PREEXISTING FRAMING LOCATIONS.
THE CONTRACTOR SHALL HAVE THE LAST DETERMINATION OF EXISTING CONDITIONS AND FRAMING METHODOLOGY USED IN BOTH NEW AND REMODELING CONSTRUCTION. THE FINAL FRAMING DECISIONS MUST BE MADE IN ACCORDANCE WITH MINIMUM IBC CODES AND SAFETY REGULATIONS GREATER. ALL PREEXISTING CONDITIONS MAY HAVE NOT BEEN ABLE TO BE SEEN PRIOR TO DEMOLITION AND THEREFORE MUST BE ALLOWED FOR AND TAKEN INTO ACCOUNT UPON COMMENCEMENT OF CONSTRUCTION.

PLAN AHEAD
DRAFTING & DESIGN LLC
RESIDENTIAL DESIGN SPECIALIST

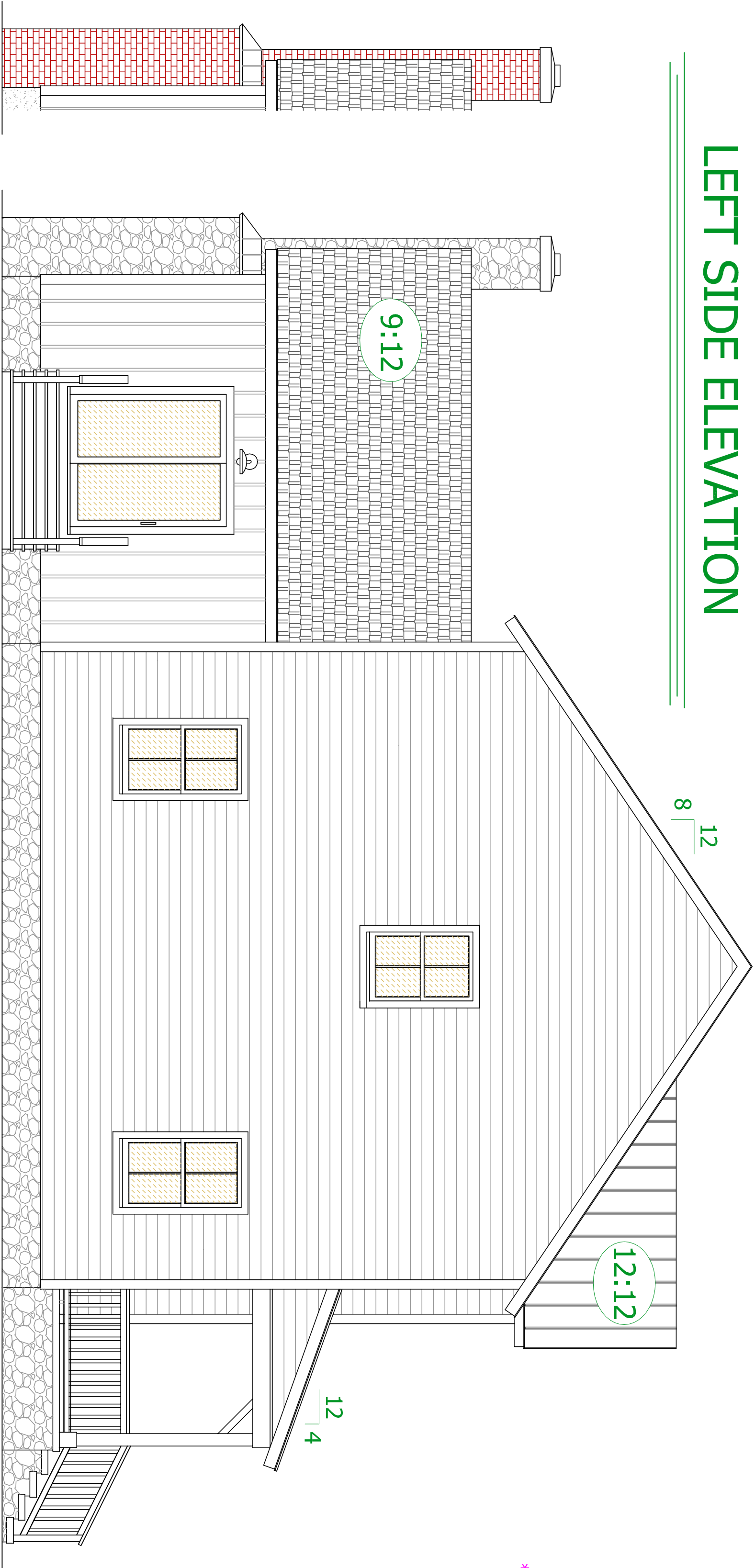
Michael Franklin Clark
CEO / MANAGER - PRINCIPAL DESIGNER

Wendy McGrane Clark
CFO / OFFICE MANAGER

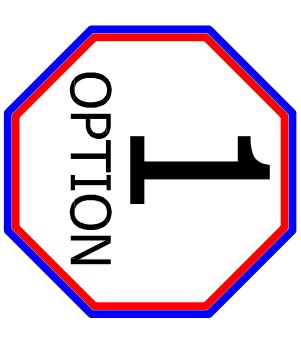
* YOUR HIGH QUALITY AFFORDABLE DESIGN ALTERNATIVE *

9 CHOPTANK AVENUE
EASTON, MD 21601-4032
PHONE: 410-822-3447 FAX 410-822-3927
E-MAIL: planaheaddrafting@msn.com
ON THE WEB @ : www.planaheaddrafting.com

LEFT SIDE ELEVATION

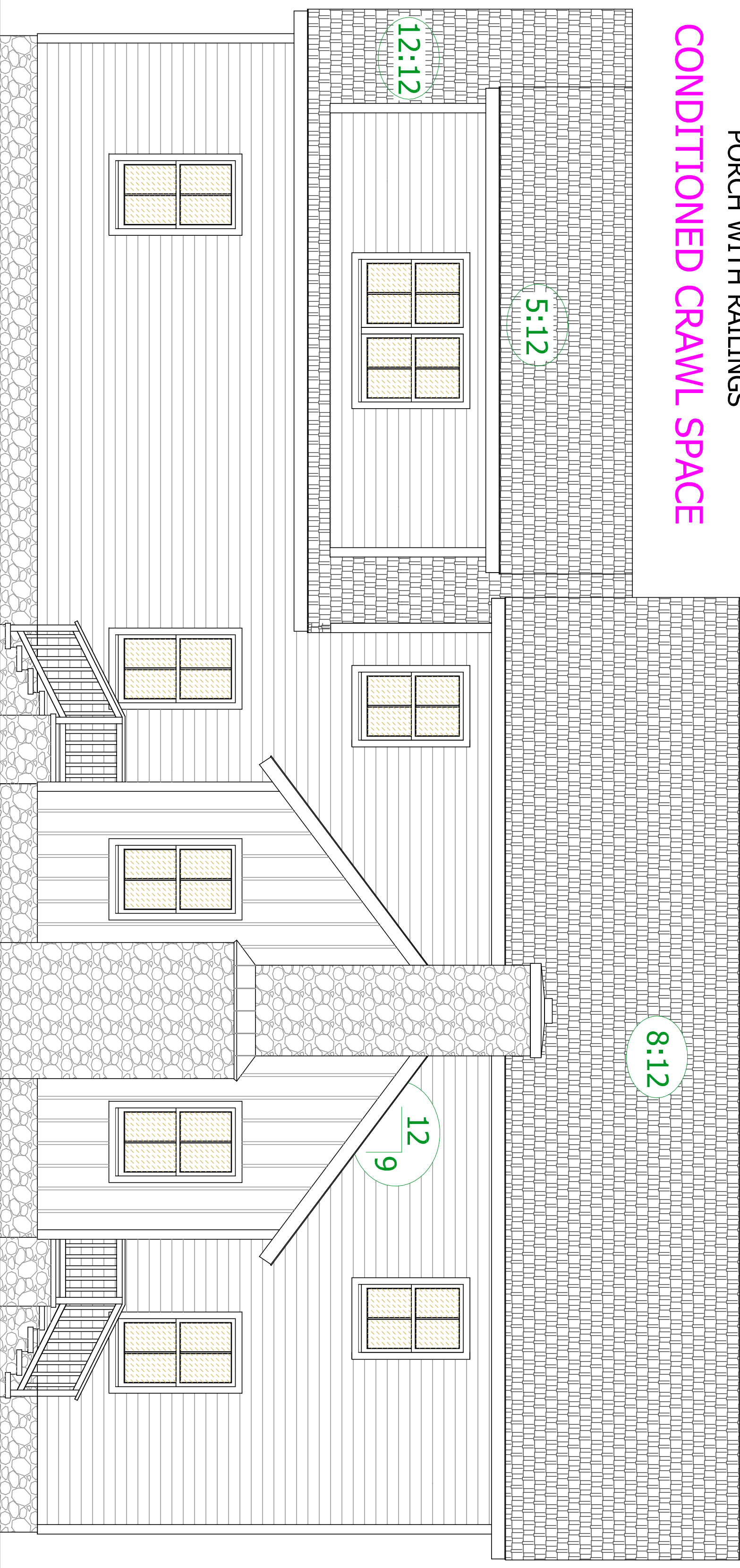


ORIGINAL LAYOUT
 3 BEDROOM WITH BONUS ROOM
 BACK STAIRCASE
 FAMILY ROOM LARGE WINDOWS
 STONE FOUNDATION & CONCRETE PORCHES
 WITH BLUESTONE IF STONE FIREPLACE



STONE FIREPLACE

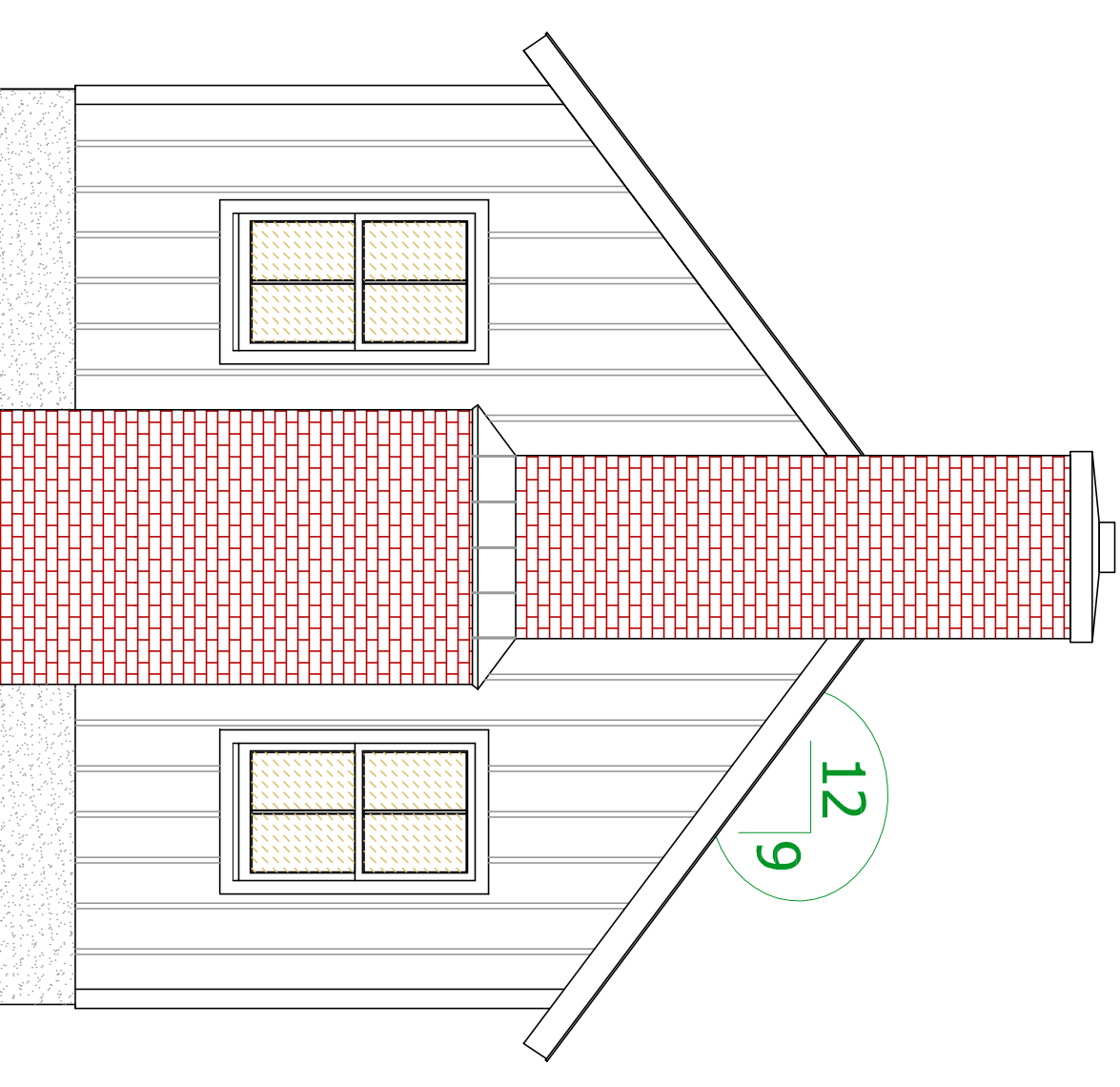
CONDITIONED CRAWL SPACE



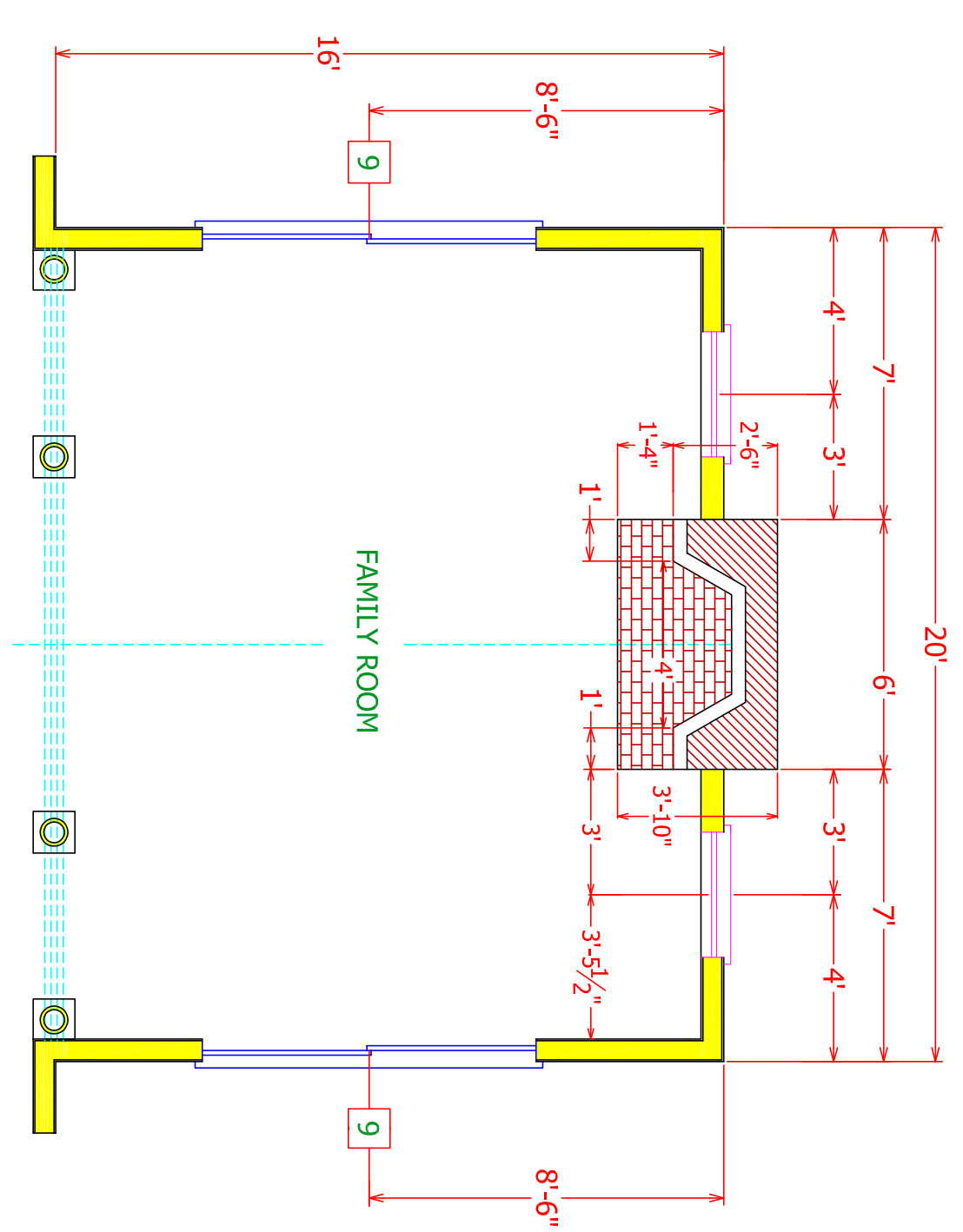
BRICK FIREPLACE

* PREFERRED * 1/2" "ZIP" ROOF SHEATHING IF 16" OC * NOT NEEDED * * PREFERRED *
 UNLESS SHEETING IS LESS THAN 24" IN WIDTH THEN ONE CLIP IS REQUIRED IN EACH BAY
 PSCL 1/2 CLIPS USE WITH 1/2" PLYWOOD WHEN @ 24" OC
 PSCL 5/8 CLIPS USE WITH 5/8" PLYWOOD WHEN @ 24" OC
 ICE & WATER SHIELD IN ALL 8:12 VALLEYS & BOTTOM 36" OF ROOF

STANDING SEAM METAL ROOFING
 AND
 35 YEAR ARCHITECTURAL GRADE
 ASPHALT SHINGLES OVER 30# FELT
 * PREFERRED * 1/2" "ZIP" ROOF SHEATHING IF 16" OC * PREFERRED *
 5/8" "ZIP" ROOF SHEATHING IF 24" OC
 PANEL SHEATHING CLIPS



REAR ELEVATION



ANY QUESTIONS ABOUT THESE PLANS NEED TO BE FORWARDED TO
 PLAN AHEAD DRAFTING & DESIGN LLC @ 410-822-3447
 WWW.PLANAHEADORIGINAL.COM

NOT RESPONSIBLE FOR:
 PERMITTING AGENCY
 BUILDING CODE ADOPTION
 1001.2020
 AT THIS POINT IN THE PLANNING PROCESS

ALL OTHER PLANS RECEIVING THIS DATE ARE NOT VALID AND YOU ARE SHOULD BE DISREGARDED. THESE PLANS ARE THE ONLY VALID AND SHOULD BE USED FOR ANY PERMITS OR DISCREPANCIES FROM ANY PREVIOUSLY DATED PLAN SETS.
 ANY CHANGES OR REVISIONS FROM THIS PLAN SET MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN LLC AND THE LOCAL PLANNING & PERMIT OFFICE.
 ALL PLAN SETS ARE GUARANTEED FOR 90 DAYS FROM THE DATE ON THE "FINAL" WITHIN THOSE 90 DAYS WILL BE CORRECTED AT NO CHARGE. ANY OMISSIONS, CODE CHANGES, CONTRACTOR CHANGES AFTER THAT DATE WILL BE THE RESPONSIBILITY OF THE HOMEOWNER AND WILL BE DONE AT THE EXPENSE OF THE HOMEOWNER.
 ALL STRUCTURAL CHANGES MUST BE ENGINEER APPROVED. ANY CHANGES / DEVIATIONS FROM THESE PLANS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER. HOMEOWNER CONTRACTOR OR ENGINEER. ENGINEER RESPONSIBILITY OF DESIGN OF ISSUES WILL BE THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR AND WILL BE DONE AT THEIR EXPENSE.
 ALL PHASES OF THE CONSTRUCTION PROCESS MUST FOLLOW THE ICCIRC 2015 BUILDING CODES OR THE MOST CURRENT A/COR MUST FOLLOW THE MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES. EACH BRITTY - MASONRY, FRAMING CODE SPECIFIC AND THOSE ENTITIES CODES MUST BE FOLLOWED WHEN IF DIFFERENT THAN THOSE ITEMS REFLECTED IN THIS DRAWING SET. ANY DISCREPANCIES NEED TO BE BROUGHT TO OUR ATTENTION ASAP TO AVOID LATER ISSUES AND ALLOW FOR CORRECTIONS TO BE MADE PRIOR TO CONSTRUCTION. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE AND NOT BY THE DRAWINGS AND NOT BY THE APPLICABLE CODES OR MANUFACTURERS RECOMMENDATIONS AUTOMATICALLY VOID AND NULLIFIES ANY FUTURE INTENTION FOR SUCH ITEMS.

- STRUCTURAL WOOD BEAMS SHALL BE NO.1,INO.2, SPOKE-FIN-FIR IN THE FOLLOWING MINIMUM PROPERTIES:
 12' x 12' Fv = 135 psf E = 1400000 psf
- SECURE MULTIPLE WOOD MEMBERS TOGETHER WITH (2) ROWS OF 16d COMMON NAILS AT 12" O/C. USE GALVANIZED NAILS FOR ALL EXTERIOR BEAMS. Fc = 2510 psf
- MICROLAM LVL BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
 2" x 8" Fv = 760 psf E = 1960000 psf
- SECURE MULTIPLE MICROLAM LVL MEMBERS TOGETHER WITH (2) ROWS OF TRUSSLOK SCREENS AT 12" O/C FOR MEMBERS 11 7/8" AND SMALLER. FOR MEMBERS DEEPER THAN 11 7/8" USE (3) ROWS OF TRUSSLOK SCREENS AT 12" O/C.
- SECURE MULTIPLE END STUDS TOGETHER WITH 16d COMMON NAILS AT 8" O/C STAGGERED EACH PLY.
- ALL BEARING STUDS AND POSTS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR TO TRANSFER MEMBERS AT LOWER DEPTH OF FLOOR AS REQUIRED.

INSULATION TO BE USED:
 EXTERIOR WALLS R-20
 CRAWL SPACE WALLS R-15
 OR FIRST FLOOR R-30
 CEILING/ROOF R-49
 INSULATION METHOD MAY BE:
 FOAM - OPEN OR CLOSED CELL
 FLASH AND BATT OR BATT INSULATION

WALL CONSTRUCTION:
 EXTERIOR 2 x 6 # 2 SPF
 INTERIOR 2 x 4 # 2 SPF
 1/2" INTERIOR DRYWALL
 7/16" "ZIP" EXTERIOR SHEATHING
 5/8" TYPE "X" FOR FIRE WALLS & CEILING

TYVEK TYPE VAPOR BARRIER
 SIDING, WINDOWS, DOORS, FINISHES, TRIM
 PACKAGES, LIGHTING, FIXTURES, AND ROOFING
 ARE TO BE DETERMINED BY THE HOMEOWNER

ALL ENGINEERED FLOORING, BEAMS, TRUSSES, AND STEEL TO BE VERIFIED THROUGH MANUFACTURERS' AND CONTRACTOR'S WEBSITE. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS ARE TAKEN FROM THE OUTSIDE OF THE EXTERIOR SHEATHING TO CENTERLINE OF INTERIOR STUD WALLS UNLESS OTHERWISE NOTED. ALL NEW EXTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.
 ALL NEW INTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.
 ALL WINDOWS AND DOORS ARE TO BE CONSIDERED NEW UNLESS MARKED OTHERWISE ON THE WINDOW OR DOOR SCHEDULES.
 ALL EXTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.
 ALL INTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.
 ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, THE DETAILS AND FINISHES ON ANY NEW ADDITIONS ARE TO MATCH THOSE OF ADJACENT EXISTING STRUCTURES OR IF THEIR REPLACEMENTS.
 ALL FOOTERS MUST MAINTAIN A MINIMUM DEPTH OF 24" BELOW THE FINISHED GRADE.
 ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, THE DETAILS AND FINISHES ON ANY NEW ADDITIONS ARE TO MATCH THOSE OF ADJACENT EXISTING STRUCTURES OR IF THEIR REPLACEMENTS.
 ALL FOUNDATION WALLS ARE TO BE TWO COAT PARGED UNLESS OTHERWISE NOTED.
 ALL MEASUREMENTS AND LOCATIONS ARE AS ACCURATE AS POSSIBLE GIVEN EXISTING CONDITIONS AND THE ENCLOSED NATURE OF THE EXISTING STRUCTURES.
 ALL FRAMING MEMBERS THAT ARE EXISTING ARE LOCATED BY THEIR APPROXIMATE LOCATION BY 8" SANGUINO FRAMING MEMBERS WHICH HAVE BEEN FOLLOWED AND HAVE BEEN REPRESENTED AS CLOSELY AS POSSIBLE. IF VISUAL CONTACT HAS BEEN ESTABLISHED OTHERWISE NORMAL FRAMING PRACTICES WILL BE SHOWN.
 ALL NEW FRAMING MEMBERS ARE TO BE SET OR EXCEED IRC CODE AND LOCATED IN OPTIMAL POSITIONING FOR LOADS AND REASONS. ADJUSTMENTS WILL NEED TO BE MADE DEPENDING ON EXISTING FRAMING LOCATIONS.
 THE CONTRACTOR ULTIMATELY HAS THE LAST DETERMINATION OF EXISTING CONDITIONS AND FRAMING METHODOLOGY USED IN BOTH NEW AND REMODELING CONSTRUCTION. THE FINAL FRAMING DECISIONS MUST BE MADE IN ACCORDANCE WITH MINIMUM IRC CODES AND SAFETY REGULATIONS GREATER. ALL PREEXISTING CONDITIONS MAY HAVE NOT BEEN ABLE TO BE SEEN PRIOR TO DEMOLITION AND THEREFORE MUST BE ALLOWED FOR AND TAKEN INTO ACCOUNT UPON COMMENCEMENT OF CONSTRUCTION.

IF CRAWL SPACE HAS ANY PUELGAS APPLIANCES PRESENT OR IS TO BE USED AS STORAGE THEN THE BOTTOMS OF THE I-POSTS MUST BE COVERED WITH EITHER FIRE RATED DRYWALL, OR FIRE RATED SHEATHING, OR SPRINKLERED * PRESCRIPTIVE METHOD *
 * USED IN THIS PLAN SET *
 CLIMATE ZONE FOUR (4)

SHEET NUMBER
E-4

PROPOSED ELEVATIONS	
RED OAK PROPERTIES	
PLAN TYPE: FINAL PLANS	COMPLETION DATE: SEPT. 17, 2020
SCALE: 1/4" = 1'-0" ARCHITECTURAL	
CHANGE LEGEND	
1	8 / 28 / 2020
2	9 / 17 / 2020
3	10 / 1 / 2020

OWNER & PROPERTY ADDRESS
 MAIL: RED OAK PROPERTIES
 26569 Brick Row Drive
 Oxford, MD 21654

PROPERTY:
 ZONING & SETBACK REQUIREMENTS

Michael Franklin Clark
 CEO / MANAGER - PRINCIPAL DESIGNER

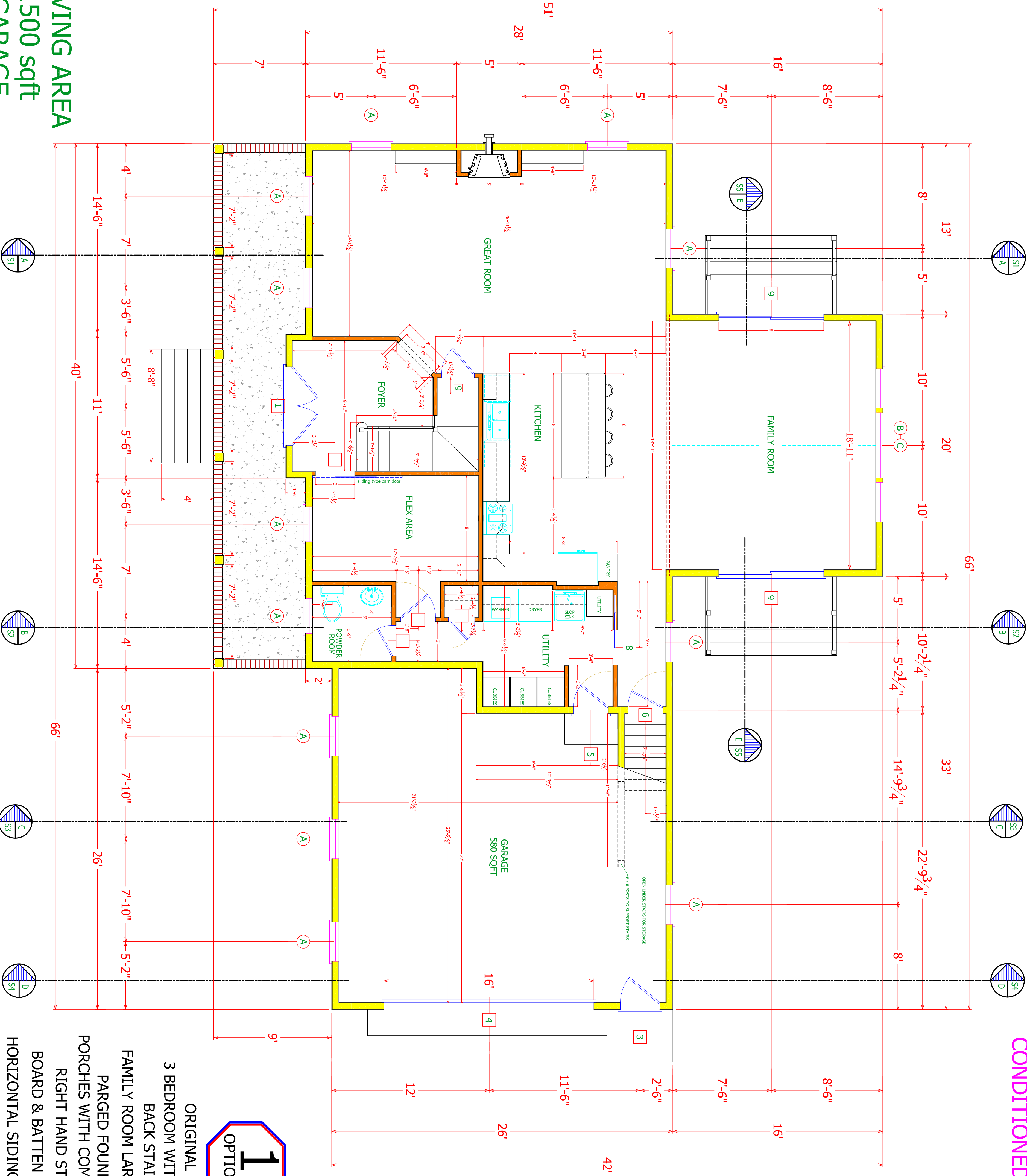
Wendy McGrane Clark
 CFO / OFFICE MANAGER

PLAN AHEAD DRAFTING & DESIGN LLC
 RESIDENTIAL DESIGN SPECIALIST

9 CHOPTANK AVENUE
 EASTON, MD 21601-4032
 PHONE: 410-822-3447 FAX 410-822-3927
 E-MAIL: planaheaddrafting@msn.com
 ON THE WEB @ : www.planaheaddrafting.com

* YOUR HIGH QUALITY AFFORDABLE DESIGN ALTERNATIVE *

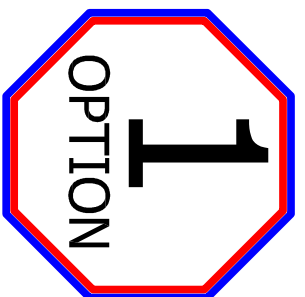
CONDITIONED CRAWL SPACE



LIVING AREA
1500 sqft
GARAGE
580 SQFT
FRONT PORCH
268 SQFT

PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0" ARCHITECTURAL



ORIGINAL LAYOUT
3 BEDROOM WITH BONUS ROOM
BACK STAIRCASE
FAMILY ROOM LARGE WINDOWS
PARGED FOUNDATION &
PORCHES WITH COMPOSITE DECKING
RIGHT HAND STAIR LAYOUT
BOARD & BATTEN MID SECTION
HORIZONTAL SIDING FAMILY ROOM
HORIZONTAL SIDING
PORCH WITH RAILINGS
CONDITIONED CRAWL SPACE



NOT RESPONSIBLE FOR:
PERMITTING/COMPLIANCE ABILITY
BUILDING CODE ADOPTED
AT THE POINT IN THE PERMITTING PROCESS

ANY QUESTIONS ABOUT THESE PLANS NEED TO BE FORWARDED TO
PLAN AHEAD DRAFTING & DESIGN, LLC @ 410-822-3447
WWW.PLANAHEADORIGINAL.COM

ALL OTHER PLANS RECEIVING THIS DATE ARE NULL AND VOID AND SHOULD BE DISREGARDED. THESE PLANS ARE THE PROPERTY OF PLAN AHEAD DRAFTING & DESIGN, LLC AND WILL BE RETURNED TO THE CLIENT WITHIN 60 DAYS OF THE DATE OF THE ORIGINAL SET. ANY CHANGES OR DISCREPANCIES FROM ANY PREVIOUSLY DATED PLAN SETS, ANY CHANGES OR DISCREPANCIES FROM THIS PLAN SET MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN, LLC AND THE LOCAL PLANNING & PERMIT OFFICE.

ALL PLAN SETS ARE GUARANTEED FOR 90 DAYS FROM THE DATE ON THE "FINAL" WITHIN THOSE 90 DAYS WILL BE CORRECTED AT NO CHARGE. ANY CHANGES, CORRECTIONS, CONTRACTOR CHANGES AFTER THAT DATE WILL BE THE RESPONSIBILITY OF THE HOMEOWNER AND WILL BE DONE AT THE EXPENSE OF THE HOMEOWNER.

ALL STRUCTURAL CHANGES MUST BE ENGINEER APPROVED. ANY CHANGES/DEVIATIONS FROM THESE PLANS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER. HOMEOWNER/CONTRACTOR/ENGINEER RESPONSIBILITY ON DESIGN/CONSTRUCTION ISSUES WILL BE THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR AND WILL BE DONE AT THEIR EXPENSE.

ALL PHASES OF THE CONSTRUCTION PROCESS MUST FOLLOW THE IBC/IRC 2015 BUILDING CODES OR THE MOST CURRENT IBC/IRC. MUST FOLLOW THE MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES. EACH ENTRY - MASONRY, FRAMING CODE SPECIFIC AND THOSE ENTRIES CODES MUST BE FOLLOWED UNLESS OTHERWISE NOTED. THOSE ITEMS REFLECTED IN THIS DRAWING SET, ANY DISCREPANCIES NEED TO BE BROUGHT TO OUR ATTENTION ASAP TO AVOID LATER ISSUES AND ALLOW FOR ATTENTION AND IS BUILT BY THE DRAWINGS AND NOT BY THE APPLICABLE CODES OR MANUFACTURERS RECOMMENDATIONS AUTOMATICALLY VOID AND nullifies ANY FUTURE MITIGATION FOR SUCH ITEMS.

- STRUCTURAL WOOD BEAMS SHALL BE NO.1,INO.2 SPOUCE-PINE-FIR WITH THE FOLLOWING MINIMUM PROPERTIES:
Fv = 135 psi E = 1400000 psi
- SECURE MULTIPLE WOOD MEMBERS TOGETHER WITH (2) ROWS OF 16d COMMON NAILS AT 12" O/C. USE GALVANIZED NAILS FOR ALL EXTERIOR BEAMS. Fc = 2510 psi
- MICROLAM LVL BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
Fv = 769 psi E = 1900000 psi
Fv = 288 psi E = 1400000 psi
- SECURE MULTIPLE MICROLAM LVL MEMBERS TOGETHER WITH (2) ROWS OF TRUSSLOK SCREWS AT 12" O/C FOR MEMBERS 11 7/8" OR SMALLER. FOR MEMBERS DEEPER THAN 11 7/8" USE (3) ROWS OF TRUSSLOK SCREWS AT 12" O/C.
- SECURE MULTIPLE END STUDS TOGETHER WITH 16d COMMON NAILS AT 8" O/C STAGGERED EACH PLY.
- ALL BEARING STUDS AND POSTS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR TO TRANSFER MEMBERS AT LOWER DEPTH OF FLOOR AS REQUIRED.

INSULATION TO BE USED:
EXTERIOR WALLS R-20
CRAWL SPACE WALLS R-15
OR FIRST FLOOR R-30
CEILING/ROOF R-49
INSULATION METHOD MAY BE:
FOAM - OPEN OR CLOSED CELL
FLASH AND BATT OR BATT INSULATION

WALL CONSTRUCTION:
EXTERIOR 2 x 6 # 2 SPF
INTERIOR 2 x 4 # 2 SPF
1" INTERIOR DRYWALL
7/8" ZIP" EXTERIOR SHEATHING
5/8" TYPE "X" FOR PIPE WALLS & CEILING
TYVEK TYPE VAPOR BARRIER
SIDING, WINDOWS, DOORS, FINISHES, TRIM
PACKAGES, LIGHTING, FIXTURES, AND ROOFING
ARE TO BE DETERMINED BY THE HOMEOWNER

ALL ENGINEERED FLOORING, BEAMS, TRUSSES, AND STEEL TO BE VERIFIED THROUGH MANUFACTURER, FINISHER, AND CONTRACTOR. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TAKEN FROM THE OUTSIDE OF THE EXTERIOR SHEATHING TO CENTRELINE OF INTERIOR STUD WALLS UNLESS OTHERWISE NOTED. ALL NEW EXTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED. ALL NEW INTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED. ALL NEW WINDOWS AND DOORS ARE TO BE CONSIDERED NEW UNLESS MARKER RECYCLING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE. REPLACEMENTS MUST MAINTAIN A MINIMUM DEPTH OF 2" BELOW THE FINISHED GRADE. ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, TRIMS, AND DETAILS TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE. ALL FOOTERS MUST BE REINFORCED WITH #4 BARS AND BE AT LEAST 12" BELOW THE FINISHED GRADE. ALL FOUNDATION WALLS ARE TO BE TWO COAT PARGE unless otherwise noted. ALL MEASUREMENTS AND LOCATIONS ARE AS ACCURATE AS POSSIBLE GIVEN EXISTING CONDITIONS AND THE ENCLOSED NATURE OF THE EXISTING STRUCTURES. ALL FRAMING MEMBERS THAT ARE EXISTING ARE LOCATED BY THEIR APPROXIMATE LOCATION BY STAGGERED FRAMING MEMBERS THAT HAVE BEEN FOLLOWED AND HAVE BEEN REFERRED TO AS CLOSELY AS POSSIBLE. IF VISUAL CONTACT HAS BEEN ESTABLISHED OTHERWISE NORMAL FRAMING PRACTICES WILL BE SHOWN. ALL NEW FRAMING MEMBERS ARE TO BE SET OR EXCEED IRC CODE AND LOCATED IN OPTIMAL POSITIONS FOR LOADS AND RESOURCES. ADJUSTMENTS WILL NEED TO BE MADE DEPENDING ON PREEXISTING FRAMING LOCATIONS. THE CONTRACTOR ULTIMATELY HAS THE LAST DETERMINATION OF EXISTING CONDITIONS AND FRAMING METHODOLOGY USED IN BOTH NEW AND REMODELING CONSTRUCTION. THE FINAL FRAMING DECISIONS MUST BE MADE IN ACCORDANCE WITH MINIMUM IRC CODES AND SAFETY REGULATIONS GREATER. ALL PREEXISTING CONDITIONS MAY HAVE NOT BEEN ABLE TO BE SEEN PRIOR TO DEMOLITION AND THEREFORE MUST BE ALLOWED FOR AND TAKEN INTO ACCOUNT UPON COMMENCEMENT OF CONSTRUCTION.

IF CRAWL SPACE HAS ANY PUE, GAS APPLIANCES PRESENT OR IS TO BE USED AS STORAGE THEN THE BOTTOMS OF THE FLOISTS MUST BE COVERED WITH EITHER FIRE RATED DRYWALL, OR FIRE RATED SHEATHING, OR SPRINKLERED.

*** PRESCRIPTIVE METHOD ***
*** USED IN THIS PLAN SET ***
CLIMATE ZONE FOUR (4)

SHEET NUMBER
A-1

PROPOSED FLOOR PLAN & ELEVATIONS
RED OAK PROPERTIES

PLAN TYPE: FINAL PLANS
COMPLETION DATE: OCTOBER 1, 2020
SCALE: 1/4" = 1'-0" ARCHITECTURAL

CHANGE LEGEND	
1	8 / 28 / 2020
2	9 / 17 / 2020
3	10 / 1 / 2020

OWNER & PROPERTY ADDRESS
MAIL: RED OAK PROPERTIES
28589 Brick Row Drive
Oxford, MD 21654

PROPERTY: ZONING & SETBACK REQUIREMENTS

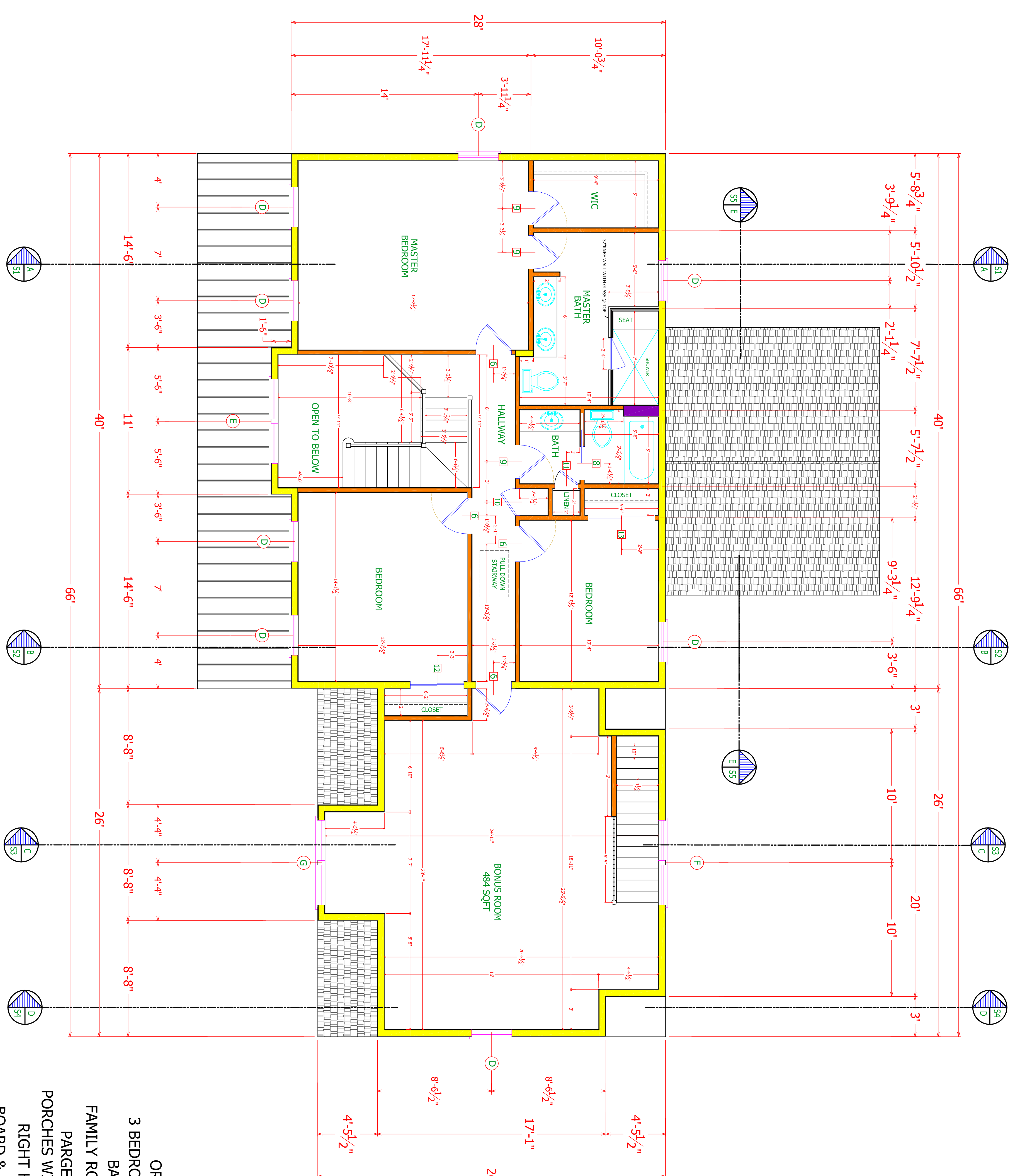
PLAN AHEAD DRAFTING & DESIGN, LLC
RESIDENTIAL DESIGN SPECIALIST

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PHONE: 410-822-3447 FAX 410-822-3927
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ON THE WEB @ : www.planaheaddrafting.com

Michael Franklin Clark
CEO / MANAGER - PRINCIPAL DESIGNER

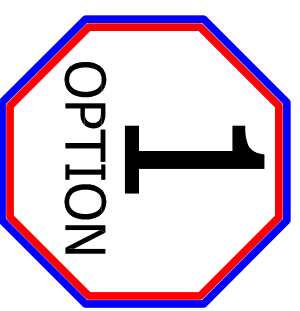
Wendy McGrane Clark
CFO / OFFICE MANAGER

*** YOUR HIGH QUALITY AFFORDABLE DESIGN ALTERNATIVE ***



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0" ARCHITECTURAL
1140 sqft
 BONUS ROOM
 484 SQFT



- ORIGINAL LAYOUT
- 3 BEDROOM WITH BONUS ROOM
- BACK STAIRCASE
- FAMILY ROOM LARGE WINDOWS
- PARGED FOUNDATION & PORCHES WITH COMPOSITE DECKING
- RIGHT HAND STAIR LAYOUT
- BOARD & BATTEN MID SECTION
- HORIZONTAL SIDING FAMILY ROOM
- HORIZONTAL SIDING
- PORCH WITH RAILINGS
- CONDITIONED CRAWL SPACE



NOT RESPONSIBLE FOR:
 PERMITTING/COMPLIANCE ABILITY
 BUILDING CODE ADEQUACY
 (10.01.2020)
 AT THIS POINT IN THE PLANNING PROCESS

ANY QUESTIONS ABOUT THESE PLANS NEED TO BE FORWARDED TO
 PLAN AHEAD DRAFTING & DESIGN, LLC @ 410-822-3447
 WWW.PLANAHEADORIGINAL.COM

ALL OTHER PLANS RECEIVING THIS DATE ARE NULL AND VOID AND SHOULD BE DISREGARDED. THIS DATE IS THE DATE OF THE FINAL REVIEW AND SHOULD BE DISREGARDED. ANY CHANGES TO THESE PLANS MUST BE APPROVED BY PLAN AHEAD DRAFTING & DESIGN, LLC AND THE LOCAL PLANNING & PERMIT OFFICE.

ALL PLANS SET ARE GUARANTEED FOR 90 DAYS FROM THE DATE ON THE "FINAL" WITHIN THOSE 90 DAYS WILL BE CORRECTED AT NO CHARGE. ANY OMISSIONS, CODE CHANGES, CONTRACTOR CHANGES AFTER THAT DATE WILL BE THE RESPONSIBILITY OF THE HOMEOWNER AND WILL BE DONE AT THE EXPENSE OF THE HOMEOWNER.

ALL STRUCTURAL CHANGES MUST BE ENGINEER APPROVED. ANY CHANGES/DEVIATIONS FROM THESE PLANS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER/HOMEOWNER'S CONTRACTOR. ENGINEERING CONSULTATION ON DESIGN/CONSTRUCTION ISSUES WILL BE THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR AND WILL BE DONE AT THEIR EXPENSE.

BUILDING CODES OR THE MOST CURRENT IBC OR MUST FOLLOW THE MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES. EACH ENTRY - MASONRY, FRAMING CODE SPECIFIC AND THOSE ENTITIES CODES MUST BE FOLLOWED WHEN IT DIFFERS THAN THOSE ITEMS REFLECTED IN THIS DRAWING SET. ANY DISCREPANCIES NEED TO BE BROUGHT TO OUR ATTENTION ASAP TO AVOID LATER ISSUES AND ALLOW FOR ATTENTION AND IS BUILT BY THE DRAWINGS AND NOT BY THE APPLICABLE CODES OR MANUFACTURER'S RECOMMENDATIONS AUTOMATICALLY VOID AND nullifies ANY FUTURE MITIGATION FOR SUCH ITEMS.

- STRUCTURAL WOOD BEAMS SHALL BE NO.1,INO.2 SPOUCE-PINE-FIR WITH THE FOLLOWING MINIMUM PROPERTIES:
 Fv = 135 psi E = 1400000 psi
- SECURE MULTIPLE WOOD MEMBERS TOGETHER WITH (2) ROWS OF 16d COMMON NAILS AT 12" O/C. USE GALVANIZED NAILS FOR ALL EXTERIOR BEAMS. Fc = 2510 psi
- MICROLAM LVL BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
 Fv = 760 psi E = 1900000 psi
- SECURE MULTIPLE MICROLAM LVL MEMBERS TOGETHER WITH (2) ROWS OF TRUSSLOC SCREWS AT 12" O/C FOR MEMBERS 11 7/8" AND SHALLOWER. FOR MEMBERS DEEPER THAN 11 7/8" USE (3) ROWS OF TRUSSLOC SCREWS AT 12" O/C.
- SECURE MULTIPLE END STUDS TOGETHER WITH 16d COMMON NAILS AT 8" O/C SPACED EACH PLY.
- ALL BEARING STUDS AND POSTS SHALL BE CONTINUOUS DOWN DEPTH OF FOUNDATION OR TO TRANSFER MEMBERS AT LOWER DEPTH OF FLOOR AS REQUIRED.

INSULATION TO BE USED:
 EXTERIOR WALLS R-20
 CRAWL SPACE WALLS R-15
 OR FIRST FLOOR R-30
 CEILING/ROOF R-49
 INSULATION METHOD MAY BE:
 FOAM - OPEN OR CLOSED CELL
 FLASH AND BATT OR BATT INSULATION

WALL CONSTRUCTION:
 EXTERIOR 2 x 6 # 2 SPF
 INTERIOR 2 x 4 # 2 SPF
 1" INTERIOR DRYWALL
 7/8" ZIP" EXTERIOR SHEATHING
 5/8" TYPE "X" FOR FIRE WALLS & CEILING

TYVEK TYPE VAPOR BARRIER
 SIDING, WINDOWS, DOORS, FINISHES, TRIM
 PACKAGES, LIGHTING, FIXTURES, AND ROOFING
 ARE TO BE DETERMINED BY THE HOMEOWNER

ALL ENGINEERED FLOORING BEAMS, TRUSSES, AND STEEL TO BE VERIFIED THROUGH MANUFACTURER, SUPPLIER, AND CONTRACTOR. ALL DIMENSIONS ARE TAKEN FROM THE OUTSIDE OF THE EXTERIOR SHEATHING TO PRESERVE COVERINGS. ALL NEW EXTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.
 ALL NEW INTERIOR WALLS ARE TO BE 2 x 4 CONSTRUCTION UNLESS OTHERWISE NOTED.
 ALL WINDOWS AND DOORS ARE TO BE CONSIDERED NEW UNLESS MARKER RECYCLING/EXISTING ON THE WINDOW OR DOOR SCHEDULES.
 ALL EXTERIOR MATERIALS, FINISHES, TRIMS, AND DETAILING TO MATCH THOSE OF EXISTING OR ADJACENT STRUCTURES WHENEVER POSSIBLE UNLESS THIS IS A TOTALLY NEW STRUCTURE.
 REPLACEMENTS:
 ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, THE DETAILS AND FINISHES ON ANY NEW ADDITIONS ARE TO MATCH THOSE OF ADJACENT EXISTING STRUCTURES OR IF THEIR DIMENSIONS MUST MAINTAIN A MINIMUM DEPTH OF 2" BELOW THE FINISHED GRADE.
 ALL EXTERIOR ARCHITECTURAL ELEMENTS, MATERIALS, THE DETAILS AND FINISHES ON ANY NEW ADDITIONS ARE TO MATCH THOSE OF ADJACENT EXISTING STRUCTURES OR IF THEIR DIMENSIONS MUST MAINTAIN A MINIMUM DEPTH OF 2" BELOW THE FINISHED GRADE.
 ALL FOUNDATION WALLS ARE TO BE TWO COAT PARGE UNLESS OTHERWISE NOTED.
 ALL FOUNDATION MATERIALS TO BE AS SPECIFIED IN THE FOUNDATION SCHEDULES.
 ALL MEASUREMENTS AND LOCATIONS ARE AS ACCURATE AS POSSIBLE GREEN EXISTING CONDITIONS AND THE ENCLOSED NATURE OF THE EXISTING STRUCTURES.
 ALL FRAMING MEMBERS THAT ARE EXISTING AND LOCATED BY THEIR APPROXIMATE LOCATION BY 8" SANGUO FRAMING TECHNIQUE HAVE BEEN FOLLOWED AND HAVE BEEN REPRESENTED AS CLOSELY AS POSSIBLE IF VISUAL CONTACT HAS BEEN ESTABLISHED OTHERWISE NORMAL FRAMING PRACTICES WILL BE SHOWN.
 ALL NEW FRAMING MEMBERS ARE TO BE KEPT OR EXCEED IBC CODE AND LOCATED IN OPTIMAL POSITIONING FOR LOADS AND REBARING. ADJUSTMENTS WILL NEED TO BE MADE DEPENDING ON PREEXISTING FRAMING LOCATIONS.
 THE CONTRACTOR WILL HAVE THE LAST DETERMINATION OF EXISTING CONDITIONS AND FRAMING METHODOLOGY USED IN BOTH NEW AND REMODELING CONSTRUCTION. THE FINAL FRAMING DECISIONS MUST BE MADE IN ACCORDANCE WITH MINIMUM IBC CODES AND SAFETY REGULATIONS GREATER. ALL PREEXISTING CONDITIONS MAY HAVE NOT BEEN ABLE TO BE SEEN PRIOR TO DEMOLITION AND THEREFORE MUST BE ALLOWED FOR AND TAKEN INTO ACCOUNT UPON COMMENCEMENT OF CONSTRUCTION.

IF CRAWL SPACE HAS ANY FUEL GAS APPLIANCES PRESENT OR IS TO BE USED AS STORAGE THEN THE BOTTOMS OF THE FLOISTS MUST BE COVERED WITH EITHER FIRE RATED DRYWALL, OR FIRE RATED SHEATHING, OR SPRINKLERED.

* PRESCRIPTIVE METHOD *
 * USED IN THIS PLAN SET *
 CLIMATE ZONE FOUR (4)

SHEET NUMBER
A-2

PROPOSED SECOND FLOOR PLAN
RED OAK PROPERTIES

PLAN TYPE: FINAL PLANS
 COMPLETION DATE: OCTOBER 1, 2020
 SCALE: 1/4" = 1'-0" ARCHITECTURAL

CHANGE LEGEND	
1	8 / 28 / 2020
2	9 / 17 / 2020
3	10 / 1 / 2020

OWNER & PROPERTY ADDRESS
 MAIL: RED OAK PROPERTIES
 28589 Bick Row Drive
 Oxford, MD 21654

PROPERTY:
 ZONING & SETBACK REQUIREMENTS

Michael Franklin Clark
 CEO / MANAGER - PRINCIPAL DESIGNER

Wendy McGrane Clark
 CFO / OFFICE MANAGER

* YOUR HIGH QUALITY AFFORDABLE DESIGN ALTERNATIVE *

PLAN AHEAD DRAFTING & DESIGN, LLC
 RESIDENTIAL DESIGN SPECIALIST

9 CHOPTANK AVENUE
 EASTON, MD 21601-4032
 PHONE: 410-822-3447 FAX 410-822-3927
 E-MAIL: planaheaddrafting@msn.com
 ON THE WEB @ : www.planaheaddrafting.com